



HAVEN HILL ACRES

PROJECT TEAM

DEVELOPER:
JRG Holdings Company
518 Leonard Avenue
St. Louis, MO 63119

CIVIL ENGINEER:
TWM, Inc.
4940 Old Collinsville Road
Swansea, IL 62226

ARCHITECT:
AAIC, Inc.
15 E. Washington Street
Belleville, IL 62220

STRUCTURAL ENGINEER:
APEX Structural Engineering
701 Emerson Road Suite 100
Creve Coeur, MO. 63141

MECHANICAL, ELECTRICAL, AND PLUMBING ENGINEER:
Solutions AEC
12970 Maurer Industrial Drive, #200
St. Louis, MO 63127

GENERAL CONTRACTOR:
Holland Construction Services
4495 N Illinois Street
Swansea, IL 62226

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APPLICABLE PROJECT CODES

- 2021 INTERNATIONAL BUILDING CODE (IBC)
- 2021 INTERNATIONAL RESIDENTIAL CODE (IRC)
- 2021 INTERNATIONAL FIRE CODE (IFC)
- 2021 INTERNATIONAL MECHANICAL CODE (IMC)
- 2021 INTERNATIONAL FUEL GAS CODE (IFGC)
- 2020 NATIONAL ELECTRIC CODE
- 2014 ILLINOIS PLUMBING CODE (IPC)
- 2018 ILLINOIS ENERGY CONSERVATION CODE (IECC)
- 2018 ILLINOIS ACCESSIBILITY CODE
- FAIR HOUSING ACT

20 UNIT - AREA SCHEDULE (GROSS)

| LEVEL | AREA |
|--------------|----------|
| GROUND FLOOR | 8599 SF |
| LEVEL 2 | 8238 SF |
| LEVEL 3 | 8238 SF |
| TOTAL | 25075 SF |

24 UNIT - AREA SCHEDULE (GROSS)

| LEVEL | AREA |
|--------------|----------|
| BASEMENT | 4470 SF |
| GROUND FLOOR | 8599 SF |
| LEVEL 2 | 8238 SF |
| LEVEL 3 | 8238 SF |
| TOTAL | 29545 SF |

UNIT MIX SCHEDULE

| BUILDING 1 - 20 UNIT APARTMENT BUILDING | | | |
|---|-------|-----|----------|
| UNIT TYPE | COUNT | SF | TOTAL SF |
| UNIT 1 | 12 | 711 | 8,532 |
| UNIT 2 | 4 | 726 | 2,904 |
| UNIT 3 | 4 | 690 | 2,760 |

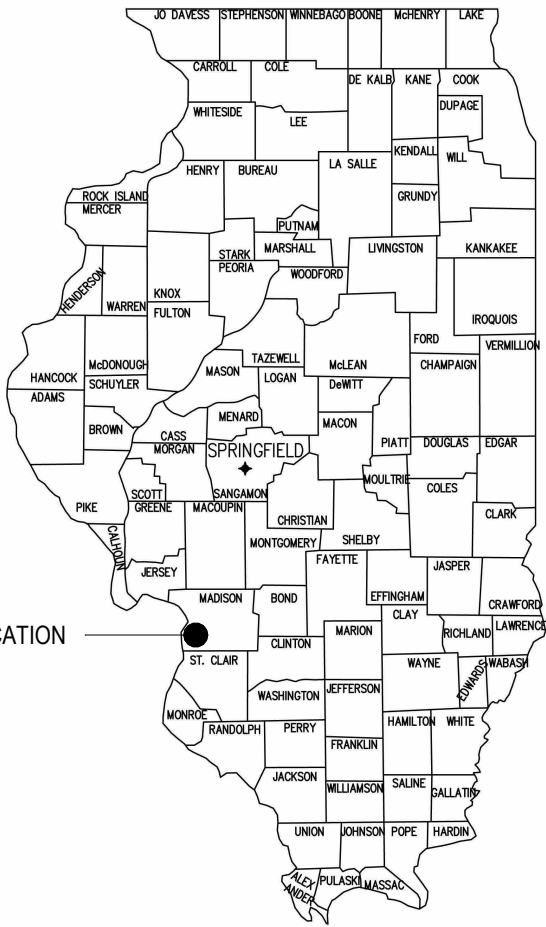
| BUILDING 3 - 24 UNIT APARTMENT BUILDING | | | |
|---|-------|-----|----------|
| UNIT TYPE | COUNT | SF | TOTAL SF |
| UNIT 1 | 14 | 711 | 9,954 |
| UNIT 2 | 4 | 726 | 2,904 |
| UNIT 3 | 6 | 690 | 4,140 |

32 UNIT - AREA SCHEDULE (GROSS)

| LEVEL | AREA |
|--------------|----------|
| GROUND FLOOR | 12880 SF |
| LEVEL 2 | 12645 SF |
| LEVEL 3 | 12645 SF |
| TOTAL | 38170 SF |

| BUILDING 2 - 20 UNIT APARTMENT BUILDING | | | |
|---|-------|-----|----------|
| UNIT TYPE | COUNT | SF | TOTAL SF |
| UNIT 1 | 12 | 711 | 8,532 |
| UNIT 2 | 4 | 726 | 2,904 |
| UNIT 3 | 4 | 690 | 2,760 |

| BUILDING 4 - 32 UNIT APARTMENT BUILDING | | | |
|---|-------|-----|----------|
| UNIT TYPE | COUNT | SF | TOTAL SF |
| UNIT 1 | 12 | 711 | 8,532 |
| UNIT 2 | 10 | 726 | 7,260 |
| UNIT 3 | 10 | 690 | 6,900 |



PROJECT SITE LOCATION

STATE MAP

HAVEN HILL ACRES

COLLINSVILLE, ILLINOIS

JUNE 16, 2025

SHEET
1





SITE PLAN

ZONING INFORMATION

ADDRESS
Near Ramada Blvd. and Reese Drive
Collinsville, IL

ZONING DISTRICT:
R-3, Multifamily Residential District

LOT RESTRICTIONS:
(Section 17.040.080)
Minimum District Area: 2 Acres
Minimum Lot Width: 100 Feet
Minimum Lot Depth: 100 Feet
Minimum Lot Area: 70,000 Square Feet
Lot Coverage: 35% (Structures) Maximum

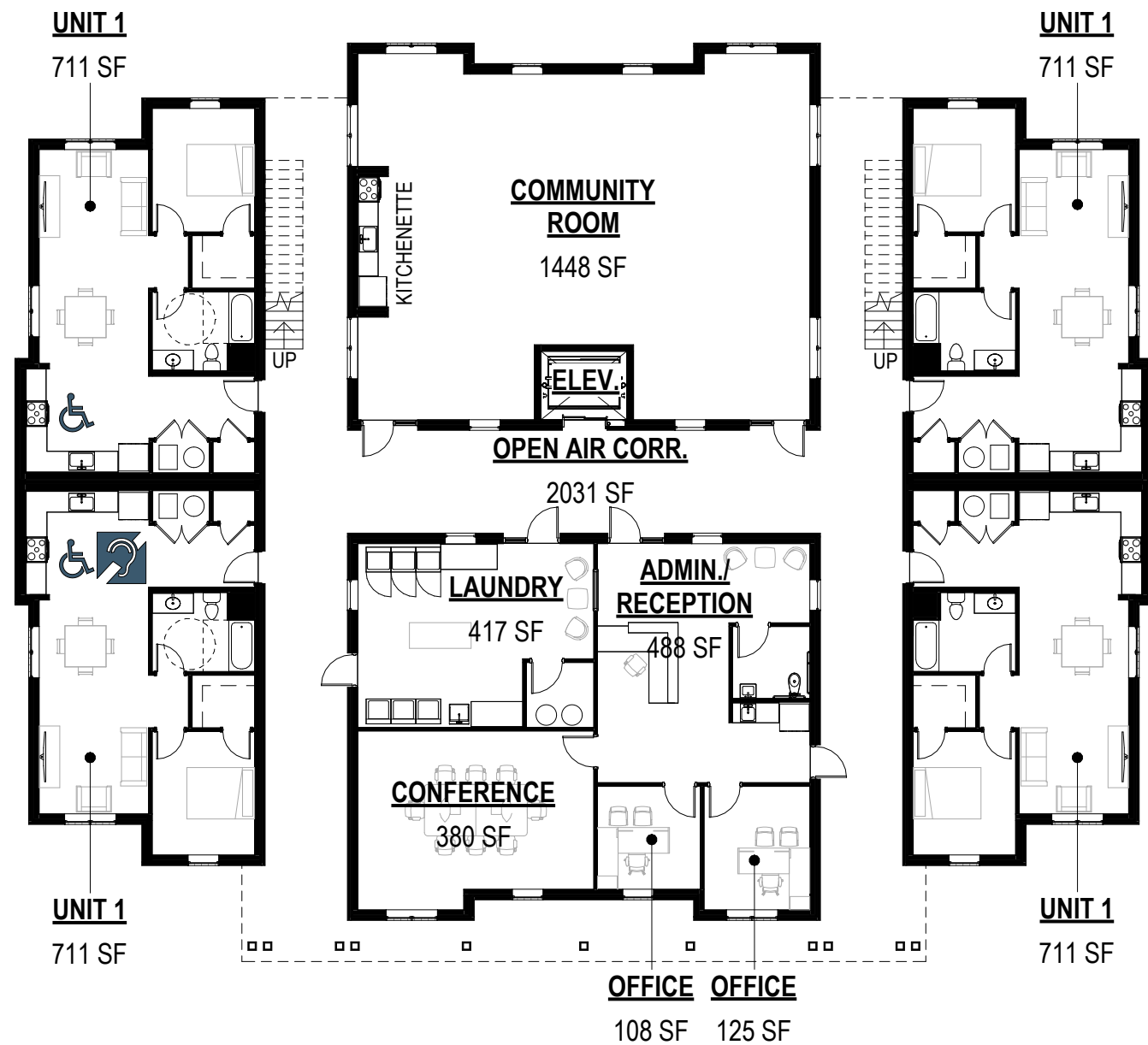
Front Yard Setback: 25 Feet
Side Yard Setback: 10 Feet
Rear Yard Setback: 25 Feet
Maximum Building Height: 35 Feet

PARKING REQUIREMENTS:
Space Size: 10 Feet Wide & 19 Feet Long (Section 17.070.040)
Two-Way Access Ways: 24 Feet Wide (Section 17.070.040)
Required Spaces: 2.5 Per Unit (Section 17.050.010)
Scientific and Technical Services (Use Table 17.050.010).

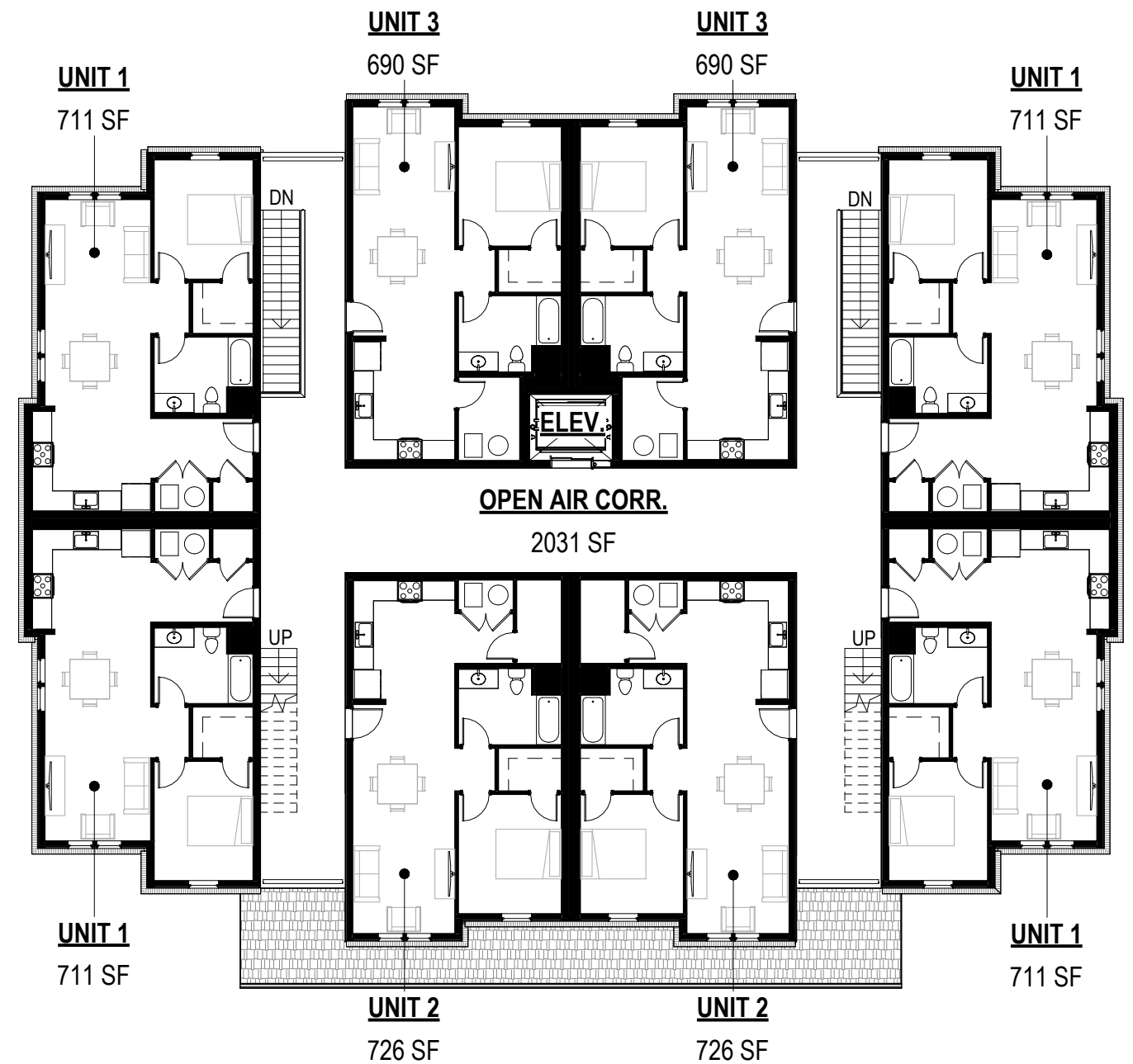
PLAN LEGEND

- 1 PROPERTY LINE
- 2 SETBACKS (SEE ZONING INFO FOR DIMENSIONS)
- 3 CONCRETE PAVEMENT
- 4 ASPHALT PAVEMENT
- 5 ZERO CURB ADA SIDEWALK RAMP
- 6 CONCRETE SIDEWALK
- 7 CONCRETE DUMPSTER PAD WITH FENCE AND GATES
- 8 PAINTED PAVEMENT MARKINGS
- 9 STORMWATER DETENTION AREA
- 10 EXISTING AMEREN SUBSTATION
- 11 NEW CONNECTOR ROAD



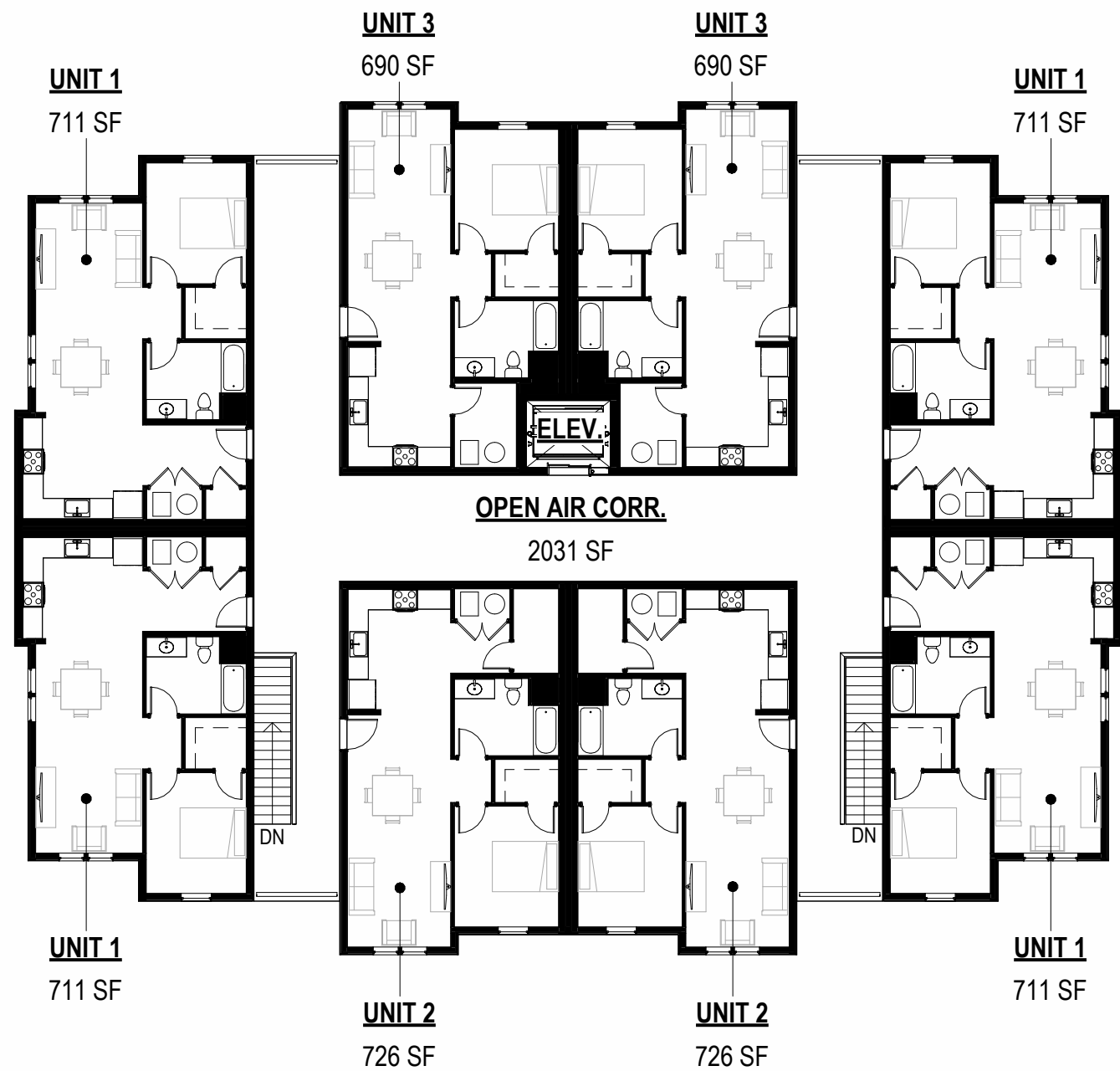


BUILDING 1 - 20 UNIT - GROUND FLOOR PLAN



BUILDING 1 - 20 UNIT - SECOND FLOOR PLAN

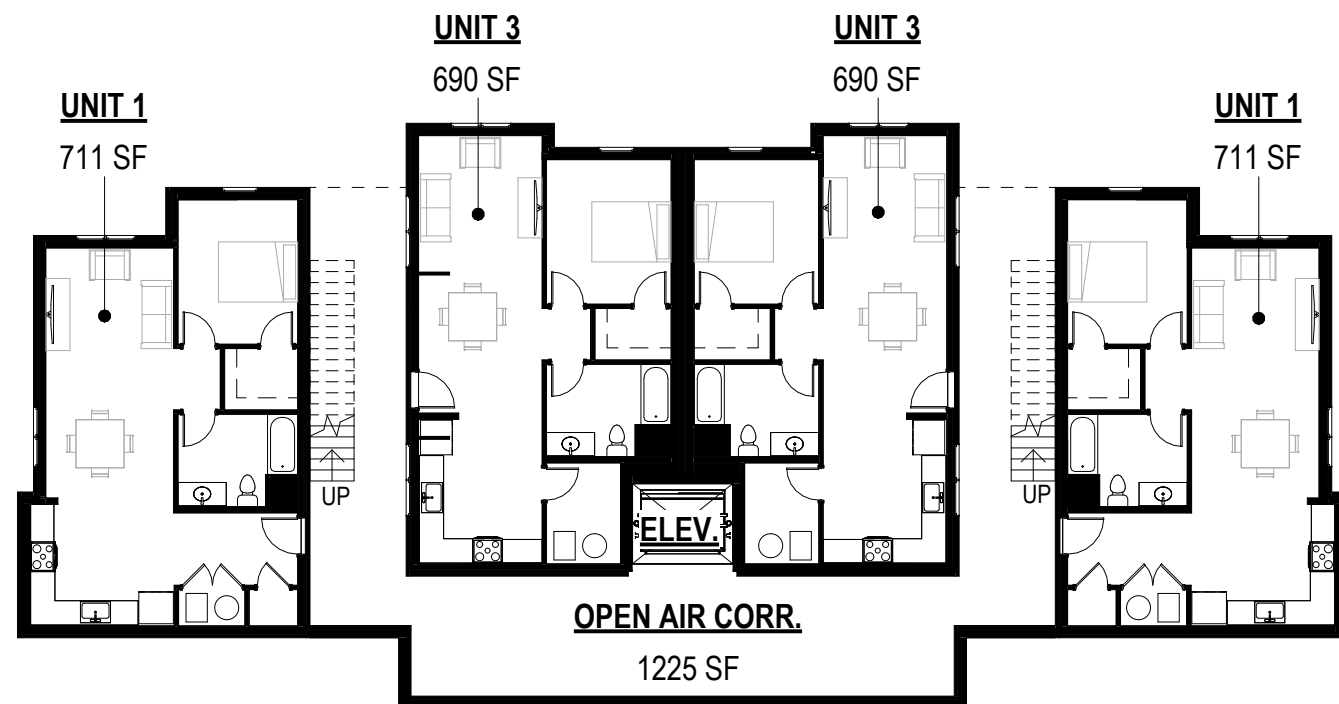




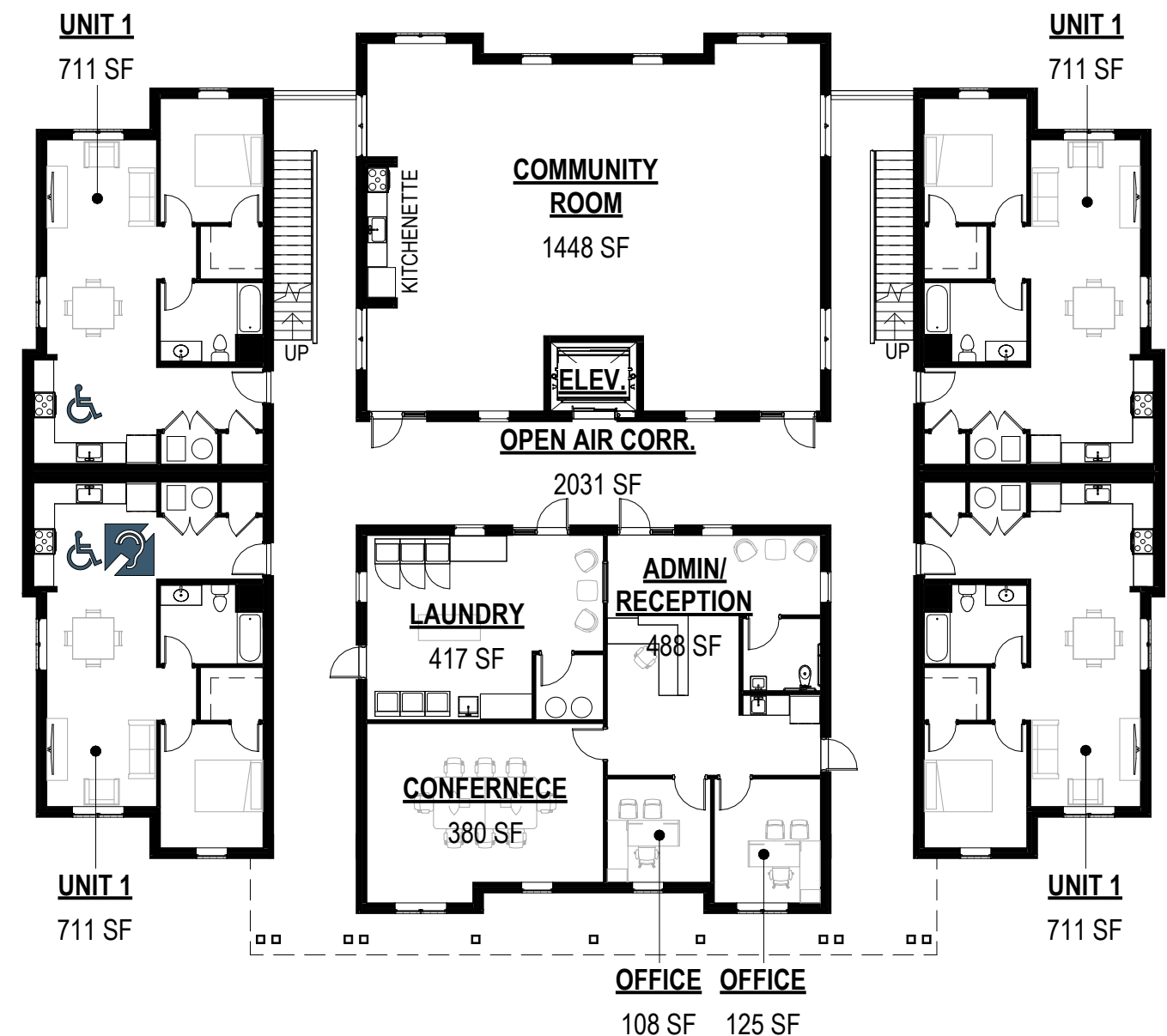
BUILDING 1 - 20 UNIT - THIRD FLOOR PLAN



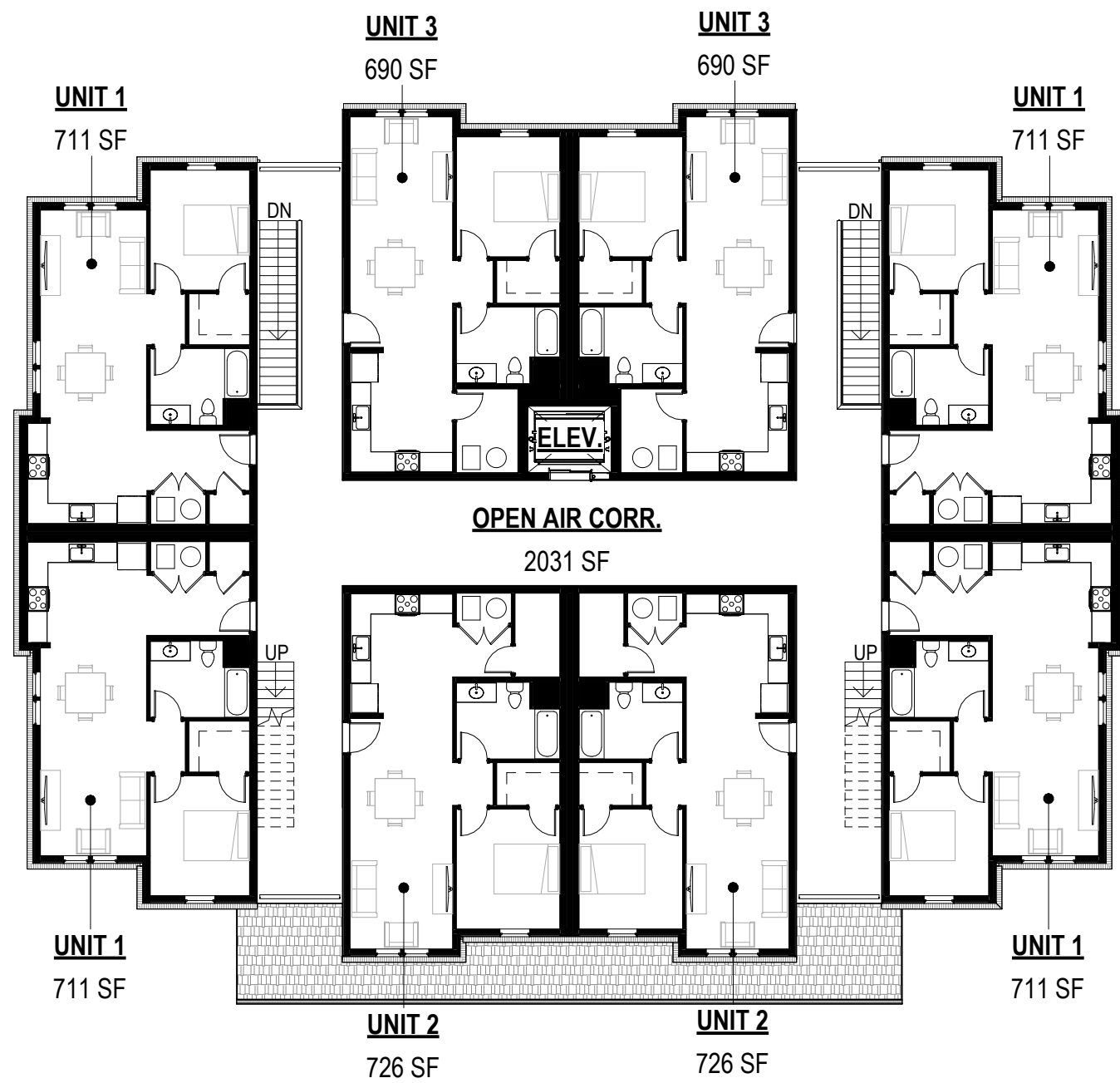
BUILDING 1 - 20 UNIT - PERSPECTIVE



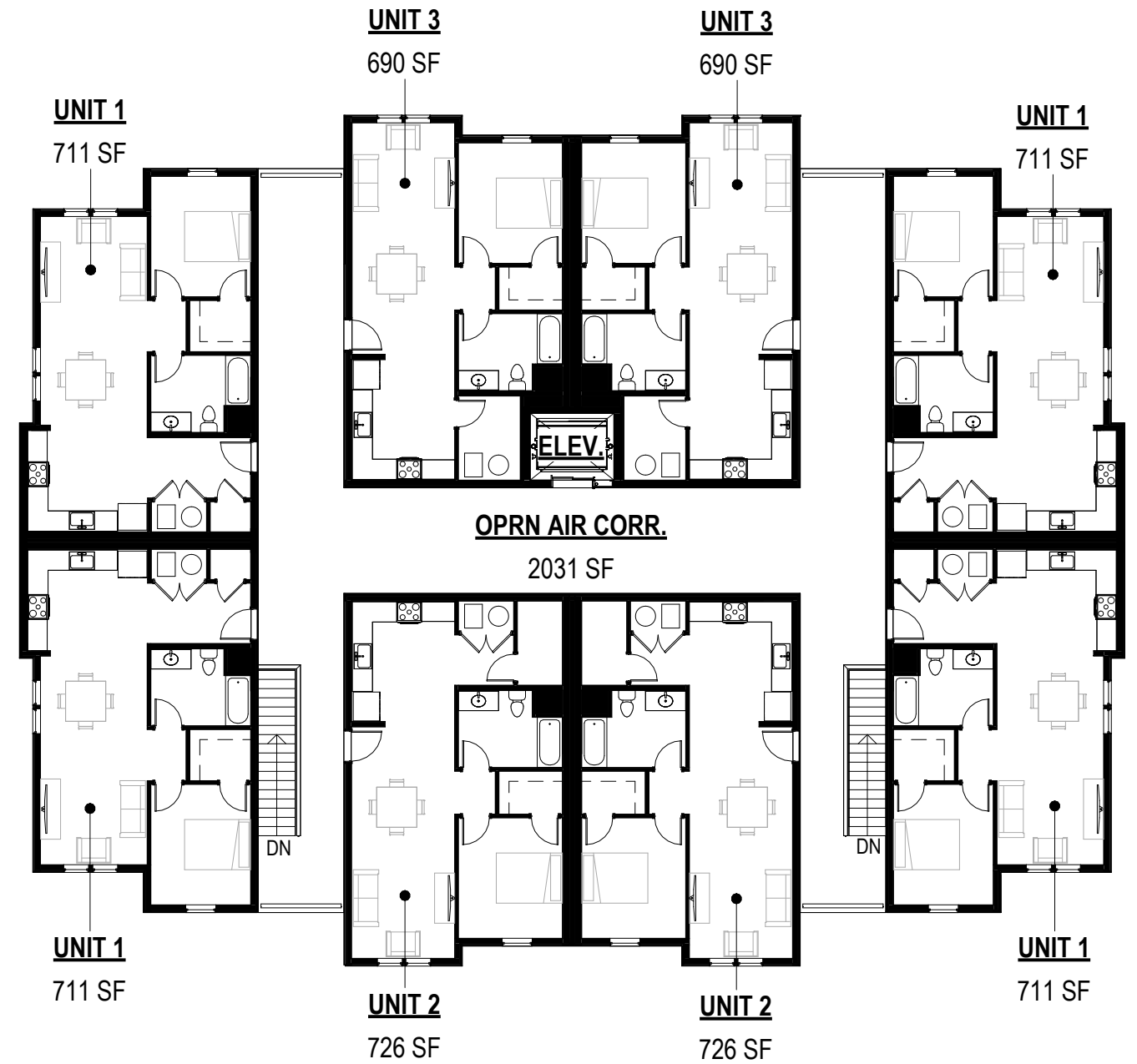
BUILDING 3 - 24 UNIT - BASEMENT FLOOR PLAN



BUILDING 3 - 24 UNIT - GROUND FLOOR PLAN



BUILDING 3 - 24 UNIT - SECOND FLOOR PLAN



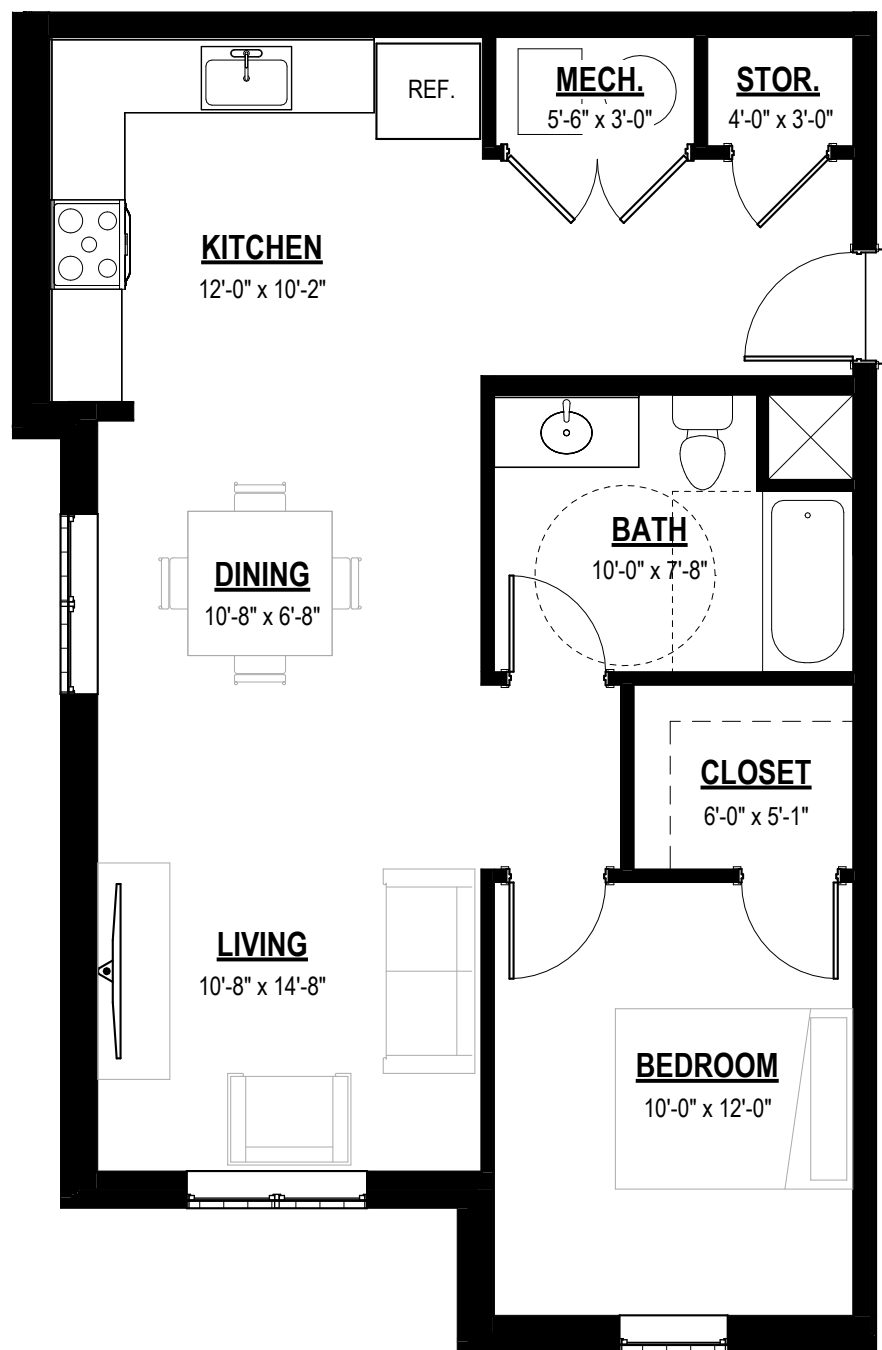
BUILDING 3 - 24 UNIT - THIRD FLOOR PLAN



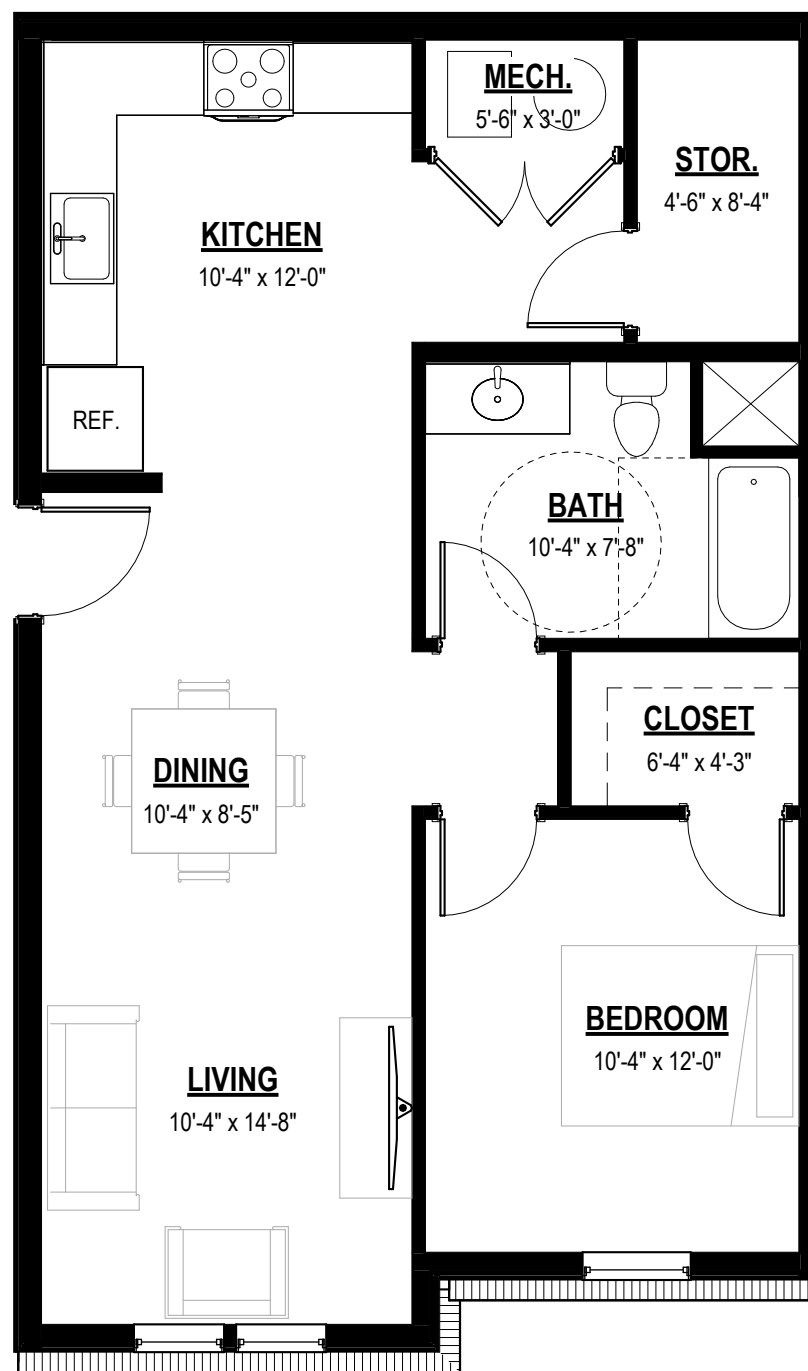
BUILDING 4 - 32 UNIT - SECOND FLOOR PLAN



BUILDING 4 - 32 UNIT - THIRD FLOOR PLAN



UNIT PLAN 1



UNIT PLAN 2

UNIVERSIAL DESIGN AMENITIES

10% OF TOTAL UNITS DESIGNED FOR MOBILITY IMPAREMENTS.
2% OF TOTAL UNITS DESIGNED FOR SENSORY IMPAREMENTS.
100% ADAPTABLE UNITS.

- 2.4 ALL UNITS TO HAVE ENTRY DOORS WITH DUAL VIEWING.
- 3.2 MIN. 42" WIDE HALLWAYS WITH 32" CLEARANCES AT DOORWAYS IN COMMON AREAS AND UNITS.
- 3.3 LEVER STYLE DOOR HARDWARE IN COMMON AREAS AND UNITS.
- 3.9 ADJUSTABLE RODS/ SHELVES WITHIN CLOSETS IN COMMON AREA AND UNITS.
- 3.10 ACCESSIBLE HANDLES AT ALL CABINET DOORS/ DRAWERS.
- 4.2 ADEQUATE SPACE IN FRONT OF ALL APPLIANCES (30" X 48") IN UNITS.
- 4.3a STOVE.
- 4.3b REFRIGERATOR.
- 4.3e MICROWAVE.
- 4.5b UNDERCABINET LIGHTING IN ALL UNITS.
- 4.7a HIGH-CONTRAST COUNTERTOPS AGAINST BASE CABINETS IN ALL UNITS.
- 4.7b HIGH-CONTRAST FLOORING AGAINST APPLIANCES IN ALL UNITS.
- 5.2a 60" DIAMETER TURNING RADIUS IN RESTROOMS IN ALL UNITS
- 5.2b CLEAR FLOOR SPACE (56" X 60") AT TOILET WITH ADJACENT LAV. IN ALL UNITS.
- 5.2c CLEAR FLOOR SPACE (30" WIDE X SHOWER) AT SHOWER IN ALL UNITS.
- 5.3d SINGLE HANDLE LEVER FIXTURES IN ALL COMMON AREA RESTROOMS AND UNIT RESTROOMS.
- 5.3f HAND-HELD ADJUSTABLE SHOWER SPRAY WITH 60" HOSE IN ALL UNITS
- 7.2 ALL CLOSETS TO HAVE MINIMUM 32" CLEAR OPENING AT ALL UNITS.
- 8.1 ACCESSIBLE SINK WITH 30" X 60" CLEARANCE
- 8.2 ACCESSIBLE CABINETS IN ALL UNITS.
- 8.3 COMMON LAUNDRY FRONT LOADING WASHER AND DRYERS AT ACCESSIBLE HEIGHT.

UNIVERSIAL DESIGN AMENITIES

10% OF TOTAL UNITS DESIGNED FOR MOBILITY IMPAREMENTS.
2% OF TOTAL UNITS DESIGNED FOR SENSORY IMPAREMENTS.
100% ADAPTABLE UNITS.

2.4 ALL UNITS TO HAVE ENTRY DOORS WITH DUAL VIEWING.

3.2 MIN. 42" WIDE HALLWAYS WITH 32" CLEARANCES AT DOORWAYS IN COMMON AREAS AND UNITS.

3.3 LEVER STYLE DOOR HARDWARE IN COMMON AREAS AND UNITS.

3.9 ADJUSTABLE RODS/ SHELVES WITHIN CLOSETS IN COMMON AREA AND UNITS.

3.10 ACCESSIBLE HANDLES AT ALL CABINET DOORS/ DRAWERS.

4.2 ADEQUATE SPACE IN FRONT OF ALL APPLIANCES (30" X 48") IN UNITS.

4.3a STOVE.
4.3b REFRIGERATOR.
4.3e MICROWAVE.

4.5b UNDERCABINET LIGHTING IN ALL UNITS.

4.7a HIGH-CONTRAST COUNTERTOPS AGAINST BASE CABINETS IN ALL UNITS.
4.7b HIGH-CONTRAST FLOORING AGAINST APPLIANCES IN ALL UNITS.

5.2a 60" DIAMETER TURNING RADIUS IN RESTROOMS IN ALL UNITS
5.2b CLEAR FLOOR SPACE (56" X 60") AT TOILET WITH ADJACENT LAV. IN ALL UNITS.
5.2c CLEAR FLOOR SPACE (30" WIDE X SHOWER) AT SHOWER IN ALL UNITS.

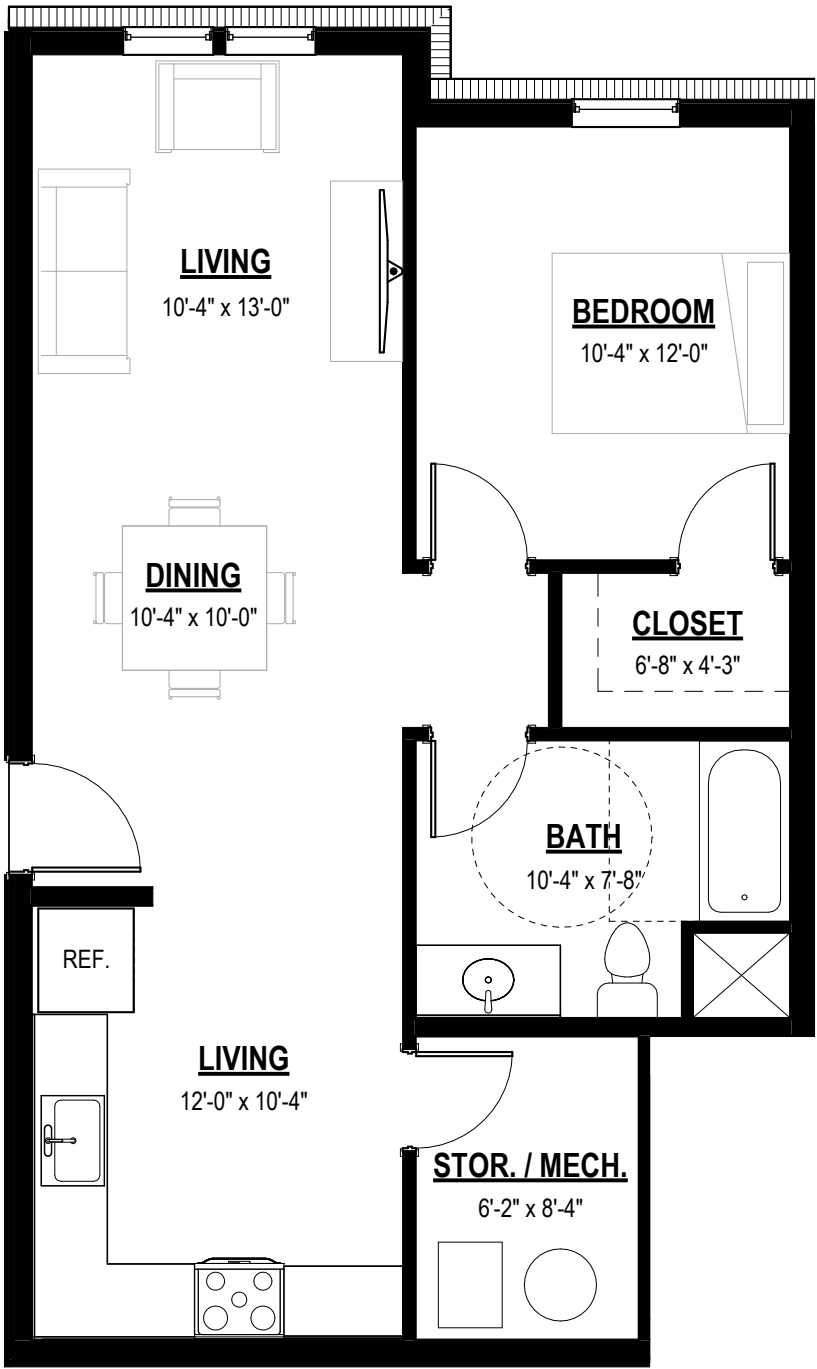
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7.2 ALL CLOSETS TO HAVE MINIMUM 32" CLEAR OPENING AT ALL UNITS.

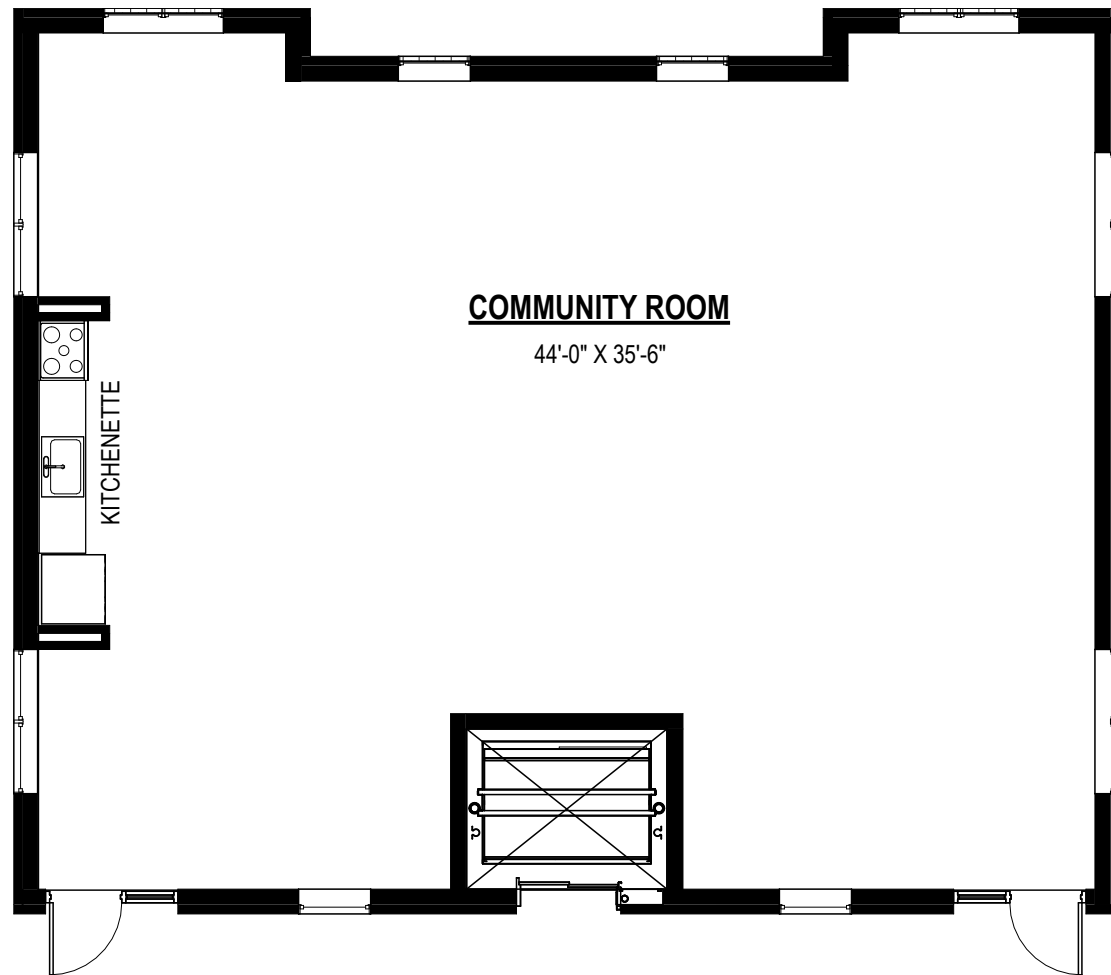
8.1 ACCESSIBLE SINK WITH 30" X 60" CLEARANCE

8.2 ACCESSIBLE CABINETS IN ALL UNITS.

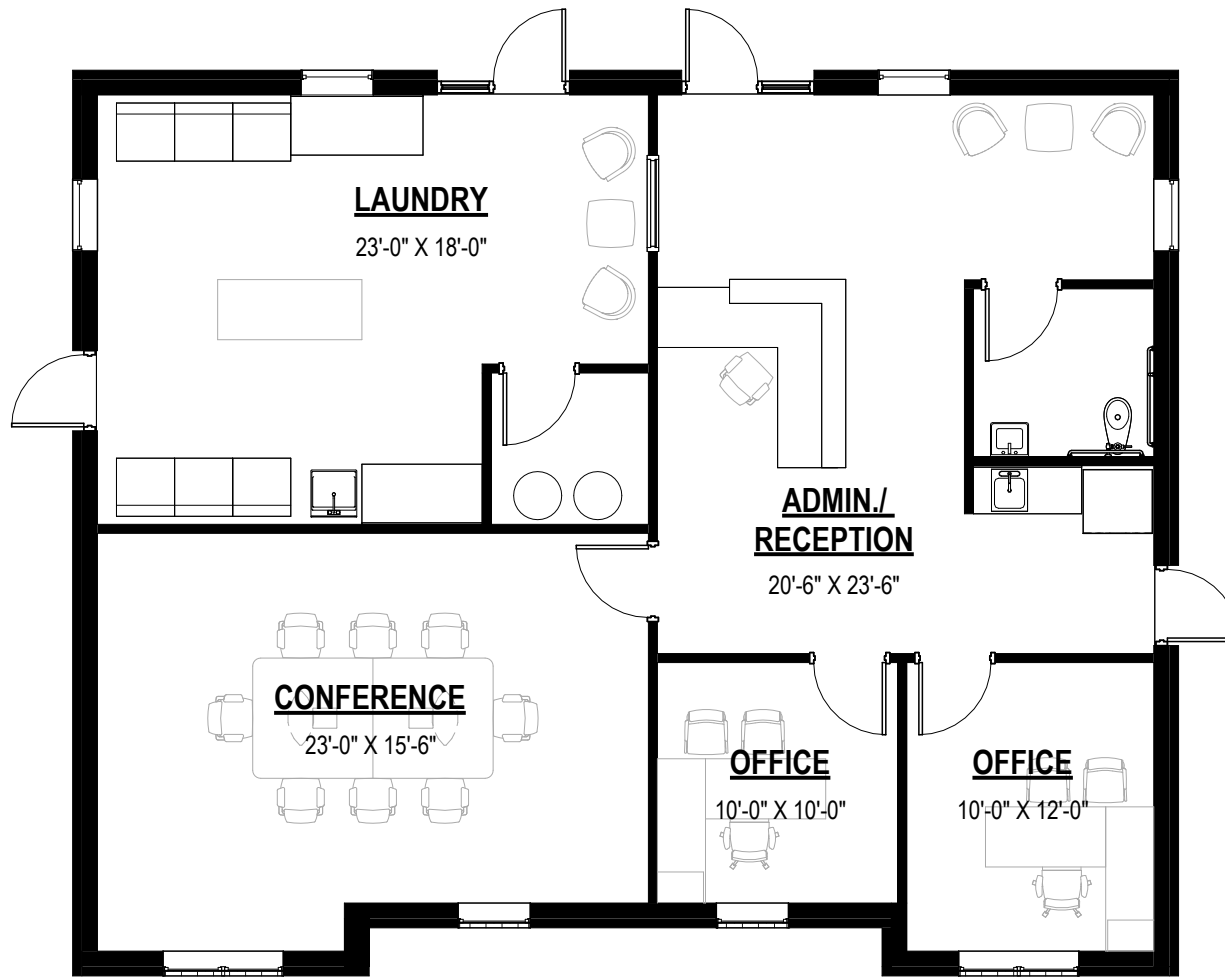
8.3 COMMON LAUNDRY FRONT LOADING WASHER AND DRYERS AT ACCESSIBLE HEIGHT.



UNIT PLAN 3



COMMUNITY ROOM



ADMIN./ RECEPTION AND LAUNDRY

UNIVERSIAL DESIGN AMENITIES

10% OF TOTAL UNITS DESIGNED FOR MOBILITY IMPAREMENTS.
2% OF TOTAL UNITS DESIGNED FOR SENSORY IMPAREMENTS.
100% ADAPTABLE UNITS.

2.4 ALL UNITS TO HAVE ENTRY DOORS WITH DUAL VIEWING.

3.2 MIN. 42" WIDE HALLWAYS WITH 32" CLEARANCES AT DOORWAYS IN COMMON AREAS AND UNITS.

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3.10 ACCESSIBLE HANDLES AT ALL CABINET DOORS/ DRAWERS.

4.2 ADEQUATE SPACE IN FRONT OF ALL APPLIANCES (30" X 48") IN UNITS.

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4.3b REFRIGERATOR.
4.3e MICROWAVE.

4.5b UNDERCABINET LIGHTING IN ALL UNITS.

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8.2 ACCESSIBLE CABINETS IN ALL UNITS.


8.3 COMMON LAUNDRY FRONT LOADING WASHER AND DRYERS AT ACCESSIBLE HEIGHT.




MATERIAL LEGEND




BRICK VENEER
Belden - Black Diamond Velour



COMPOSITE SIDING
Everlast - Slate



COMPOSITE SIDING
Everlast - Blue Spruce



ASPHALT SHINGLES
Architectural Shingles

| BUILDING 2 - 20 UNIT APARTMENT BUILDING | | | | |
|---|----------|-------------|-------------|-----------|
| LEVEL | BRICK | GRAY SIDING | BLUE SIDING | TOTAL |
| GROUND FLOOR | 6,083 SF | 3,528 SF | 0 | 9,611 SF |
| SECOND FLOOR | 0 | 6,860 SF | 533 SF | 7,393 SF |
| THIRD FLOOR | 0 | 3,993 SF | 4,390 SF | 8,383 SF |
| | 23.96% | 56.65% | 19.39% | 25,387 SF |




20 UNIT - FRONT ELEVATION




20 UNIT - SIDE ELEVATION


MATERIAL LEGEND




BRICK VENEER
Belden - Black Diamond Velour



COMPOSITE SIDING
Everlast - Slate



COMPOSITE SIDING
Everlast - Blue Spruce



ASPHALT SHINGLES
Architectural Shingles

| BUILDING 2 - 20 UNIT APARTMENT BUILDING | | | | |
|---|----------|-------------|-------------|-----------|
| LEVEL | BRICK | GRAY SIDING | BLUE SIDING | TOTAL |
| GROUND FLOOR | 6,083 SF | 3,528 SF | 0 | 9,611 SF |
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| THIRD FLOOR | 0 | 3,993 SF | 4,390 SF | 8,383 SF |
| | 23.96% | 56.65% | 19.39% | 25,387 SF |



20 UNIT - REAR ELEVATION




20 UNIT - SIDE ELEVATION




FRONT ELEVATION - 24 UNIT


MATERIAL LEGEND




BRICK VENEER
Belden - Black Diamond Velour



COMPOSITE SIDING
Everlast - Slate



COMPOSITE SIDING
Everlast - Blue Spruce



ASPALT SHINGLES
Architectural Shingles

| BUILDING 3 - 24 UNIT APARTMENT BUILDING | | | | |
|---|----------|-------------|-------------|-----------|
| LEVEL | BRICK | GRAY SIDING | BLUE SIDING | TOTAL |
| BASEMENT | 5,258 SF | 0 | 0 | 5,258 SF |
| GROUND FLOOR | 6,083 SF | 3,528 SF | 0 | 9,611 SF |
| SECOND FLOOR | 0 | 6,860 SF | 533 SF | 7,393 SF |
| THIRD FLOOR | 0 | 3,993 SF | 4,390 SF | 8,383 SF |
| | 37% | 46.93% | 16.07% | 30,645 SF |



SIDE ELEVATION 2 - 24 UNIT

MATERIAL LEGEND



BRICK VENEER
Belden - Black Diamond Velour



COMPOSITE SIDING
Everlast - Slate



COMPOSITE SIDING
Everlast - Blue Spruce



ASPHALT SHINGLES
Architectural Shingles

| BUILDING 3 - 24 UNIT APARTMENT BUILDING | | | | |
|---|----------|-------------|-------------|-----------|
| LEVEL | BRICK | GRAY SIDING | BLUE SIDING | TOTAL |
| BASEMENT | 5,258 SF | 0 | 0 | 5,258 SF |
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| | 37% | 46.93% | 16.07% | 30,645 SF |



REAR ELEVATION - 24 UNIT



SIDE ELEVATION 1 - 24 UNIT



32 UNIT - REAR ELEVATION



32 UNIT - FRONT ELEVATION

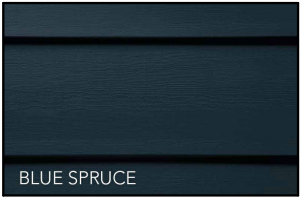
MATERIAL LEGEND



BRICK VENEER
Belden - Black Diamond Velour



COMPOSITE SIDING
Everlast - Slate



COMPOSITE SIDING
Everlast - Blue Spruce




ASPHALT SHINGLES
Architectural Shingles

| BUILDING 4 - 32 UNIT APARTMENT BUILDING | | | | |
|---|----------|-------------|-------------|-----------|
| LEVEL | BRICK | GRAY SIDING | BLUE SIDING | TOTAL |
| GROUND FLOOR | 8,346 SF | 5,715 SF | 0 | 14,061 SF |
| SECOND FLOOR | 0 | 10,280 SF | 533 SF | 10,813 SF |
| THIRD FLOOR | 0 | 5,763 SF | 6,376 SF | 12,139 SF |
| | 22.55% | 58.78% | 18.67% | 37,013 SF |


T.O. RIDGE 151'-6"
T.O. FRAMING 133'-4"
GROUND FLOOR 100'-0"

T.O. RIDGE 151'-6"
T.O. FRAMING 133'-4"
GROUND FLOOR 100'-0"


MATERIAL LEGEND




BRICK VENEER
Belden - Black Diamond Velour



COMPOSITE SIDING
Everlast - Slate



COMPOSITE SIDING
Everlast - Blue Spruce



ASPHALT SHINGLES
Architectural Shingles

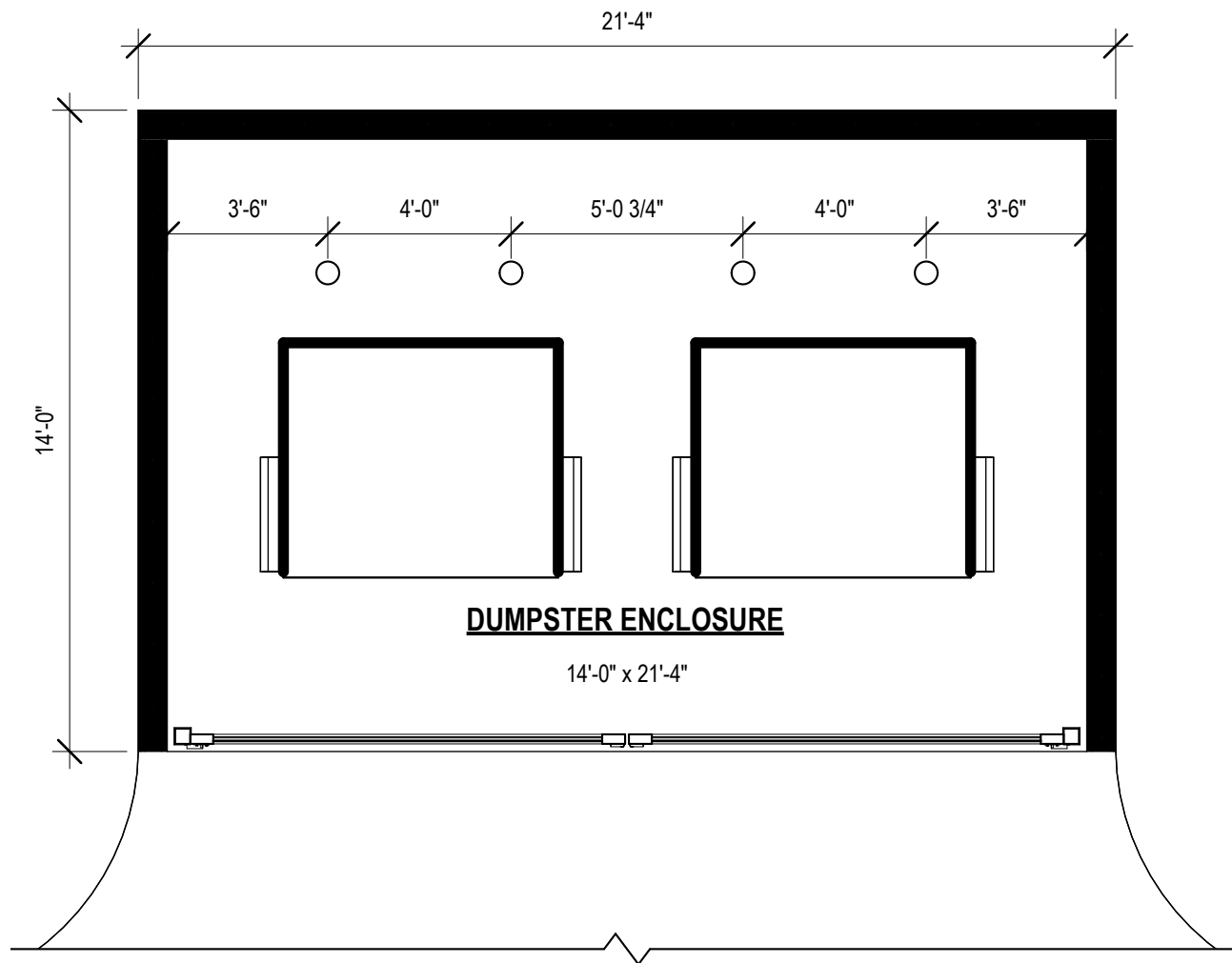
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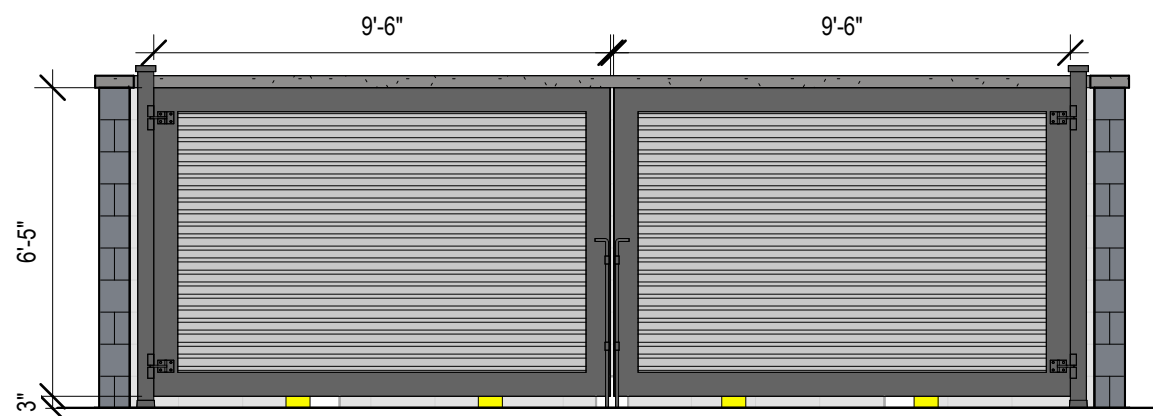
32 UNIT - SIDE ELEVATION



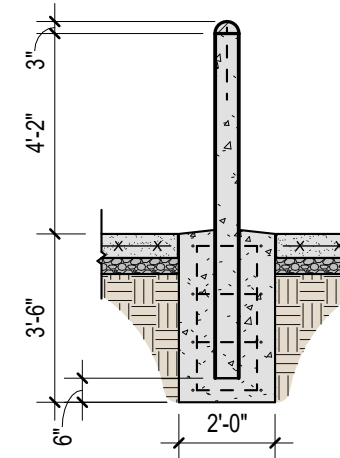
32 UNIT - SIDE ELEVATION



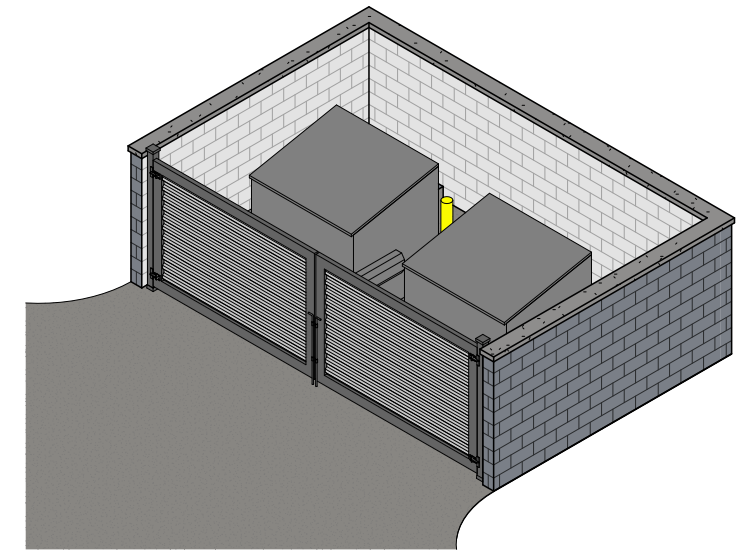
DUMPSTER ENCLOSURE PLAN



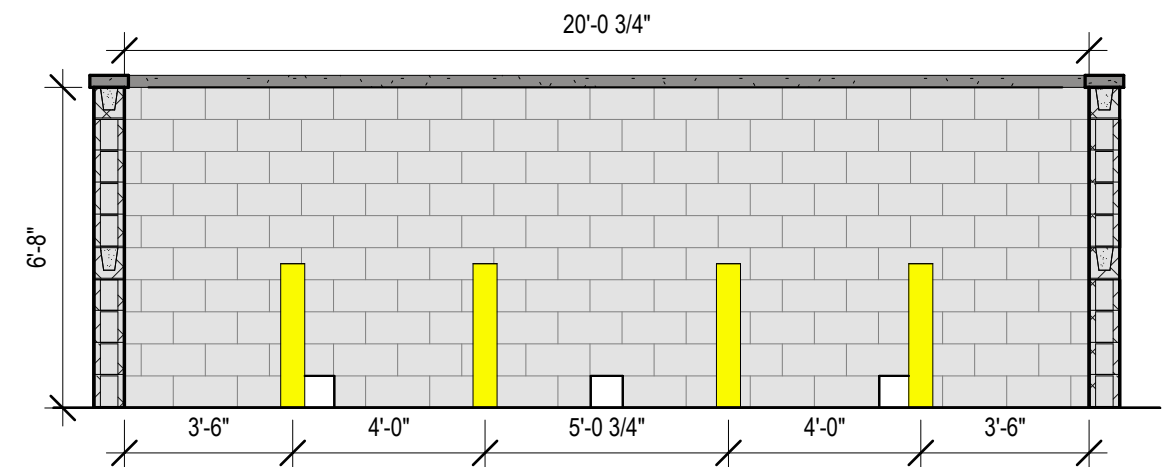
DUMPSTER ENCLOSURE FRONT ELEVATION



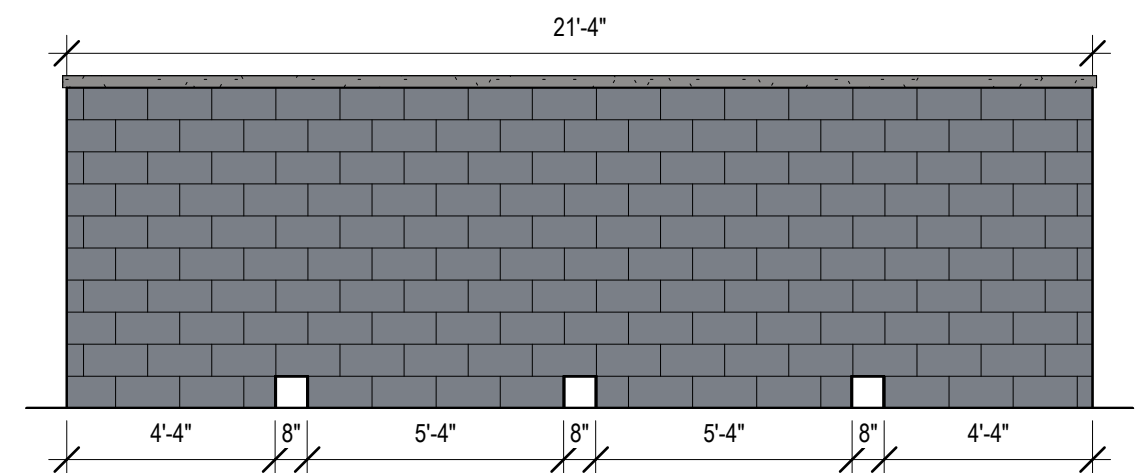
BOLLARD DETAIL



DUMPSTER ENCLOSURE



DUMPSTER ENCLOSURE SECTION



DUMPSTER ENCLOSURE REAR ELEVATION

TYPICAL CONSTRUCTION NOTES

FLOOR / CEILING CONSTRUCTION

- FINISH FLOOR MATERIAL
- 1/4" SOUND BOARD UNDERLAYMENT
- 3/4" PLYWOOD
- 3 1/2" SOUND BATT INSULATION
- 24" OPEN WEB WOOD TRUSSES AT 24" O.C.
- 1/2" RESILIENT METAL CHANNEL
- 5/8" GYPSUM BOARD

BRICK EXTERIOR WALL

- FACE BRICK WITH GALVANIZED METAL REINFORCING AT 16" O.C.
- 1" AIR SPACE
- CONTINUOUS 6 MIL VAPOR RETARDER MEMBRANE
- 5 1/2" BATT INSULATION
- 2x6 WOOD STUD FRAMING AT 16" O.C.
- 5/8" GYPSUM BOARD

CMU BLOCK WALL

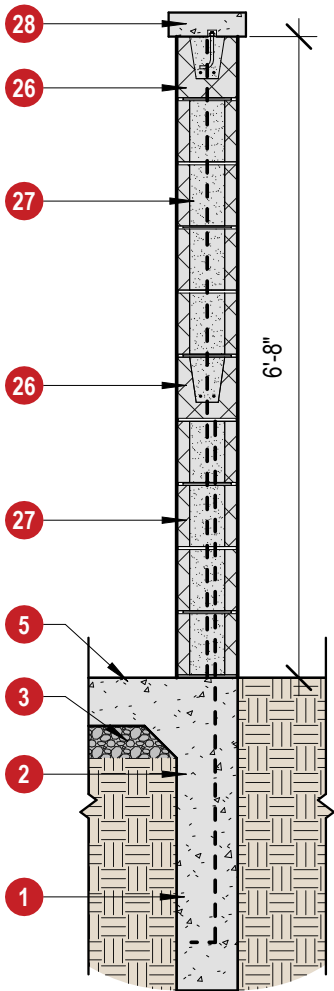
- 7 5/8" CMU BLOCK WALL
- 7 5/8" CMU HORIZONTAL REINFORCED BOND BEAM
- CONTINUOUS CONCRETE COPING

SIDING EXTERIOR WALL

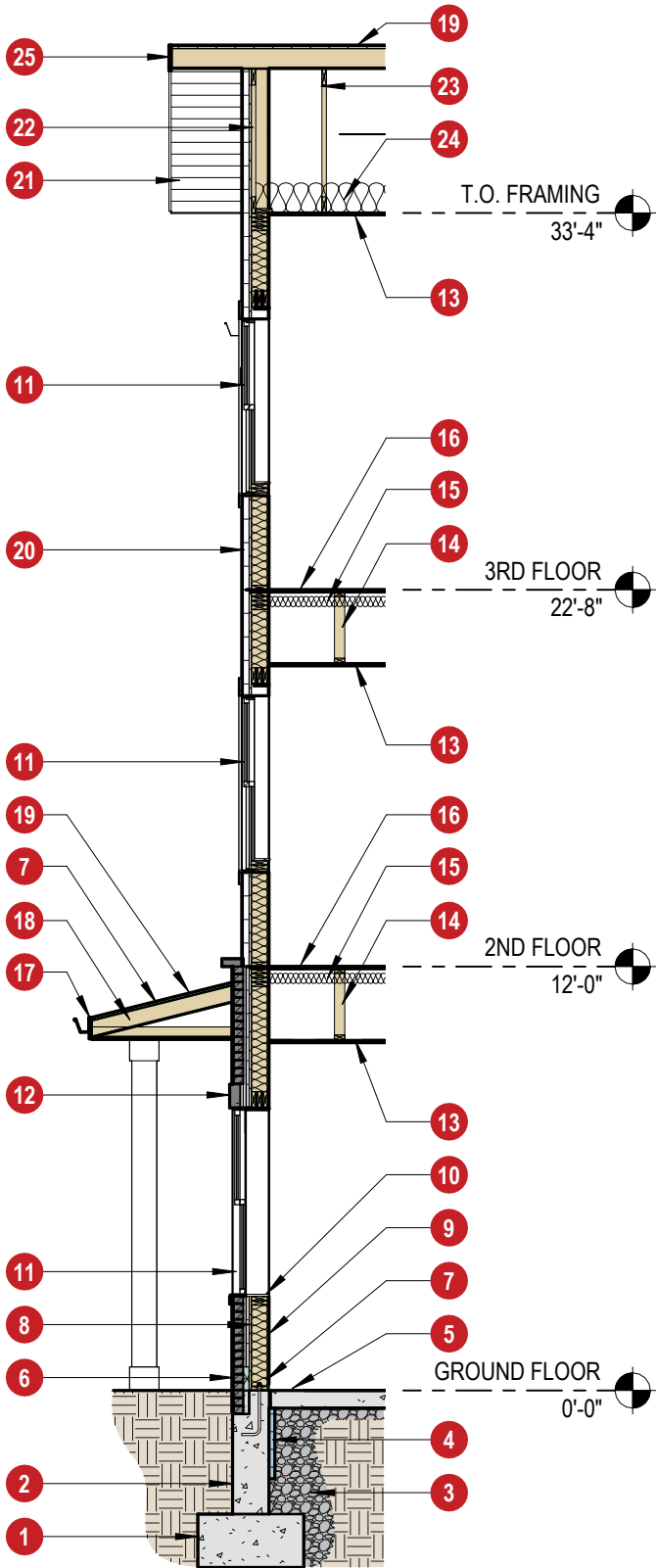
- COMPOSITE SIDING (VERTICAL AND BOARD AND BATTEN)
- CONTINUOUS 6 MIL VAPOR RETARDER MEMBRANE
- 5/8" EXTERIOR GRADE PLYWOOD
- 5 1/2" BATT INSULATION
- 2x6 WOOD STUD FRAMING AT 16" O.C.
- 5/8" GYPSUM BOARD

ROOF

- ARCHITECTURAL ASPHALT SHINGLES
- 5/8" PLYWOOD ROOF DECKING
- WOOD TRUSSES, DESIGN BY OTHERS
- R-38 BATT INSULATION OVER 100% OF CEILING AREA



CMU WALL SECTION



WALL SECTION

WALL SECTION LEGEND

- 1 CONCRETE FOOTING
- 2 CONCRETE FOUNDATION WALL TO BELOW FROST LINE
- 3 4" WASHED GRAVEL
- 4 RIGID INSULATION
- 5 REINFORCED CONCRETE SLAB OVER 10 MIL. VAPOR BARRIER
- 6 BRICK VENEER CAVITY WALL
- 7 WOOD STUD FRAMING
- 8 EXTERIOR GRADE PLYWOOD SHEATHING
- 9 GYPSUM BOARD
- 10 WOOD WINDOW SILL
- 11 DOUBLE HUNG VINYL WINDOW
- 12 BRICK SOLIDER COURSE
- 13 GYPSUM BOARD CEILING ON RESILIENT CHANNELS
- 14 OPEN WEB WOOD TRUSSES
- 15 SOUND BATT INSULATION
- 16 T&G PLYWOOD SHEATHING
- 17 PREFINISHED METAL GUTTER
- 18 WOOD CANOPY FRAMING
- 19 ARCHITECTURAL ASPHALT SHINGLES
- 20 COMPOSITE SIDING
- 21 SOFFIT PANELS
- 22 GABLE END TRUSS
- 23 ROOF TRUSSES
- 24 ATTIC / CEILING INSULATION
- 25 RAKE BOARD
- 26 CMU BOND BEAM
- 27 CMU BLOCK WALL
- 28 CONCRETE COPING

BUILDING ENVELOPE REQUIREMENTS

GOVERNING CODE:
2018 Illinois Energy Conservation Code

MINIMUM THERMAL ENVELOPE CODE REQUIREMENTS:

- Roof, Attic R-38
- Walls, Above Grade R-20
- Perimeter Slab R-10, 24 inches

HAVEN HILL ACRES

COLLINSVILLE, ILLINOIS

JUNE 16, 2025

SHEET

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