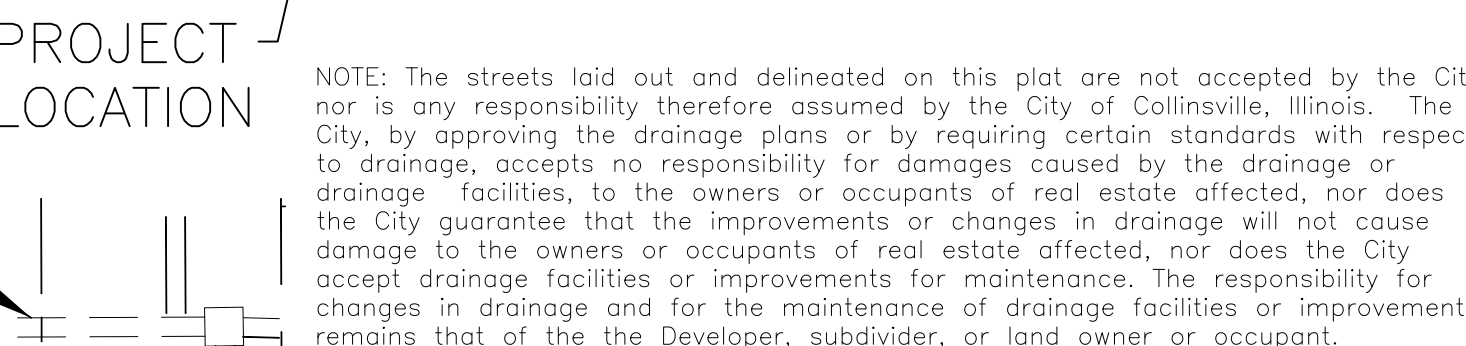
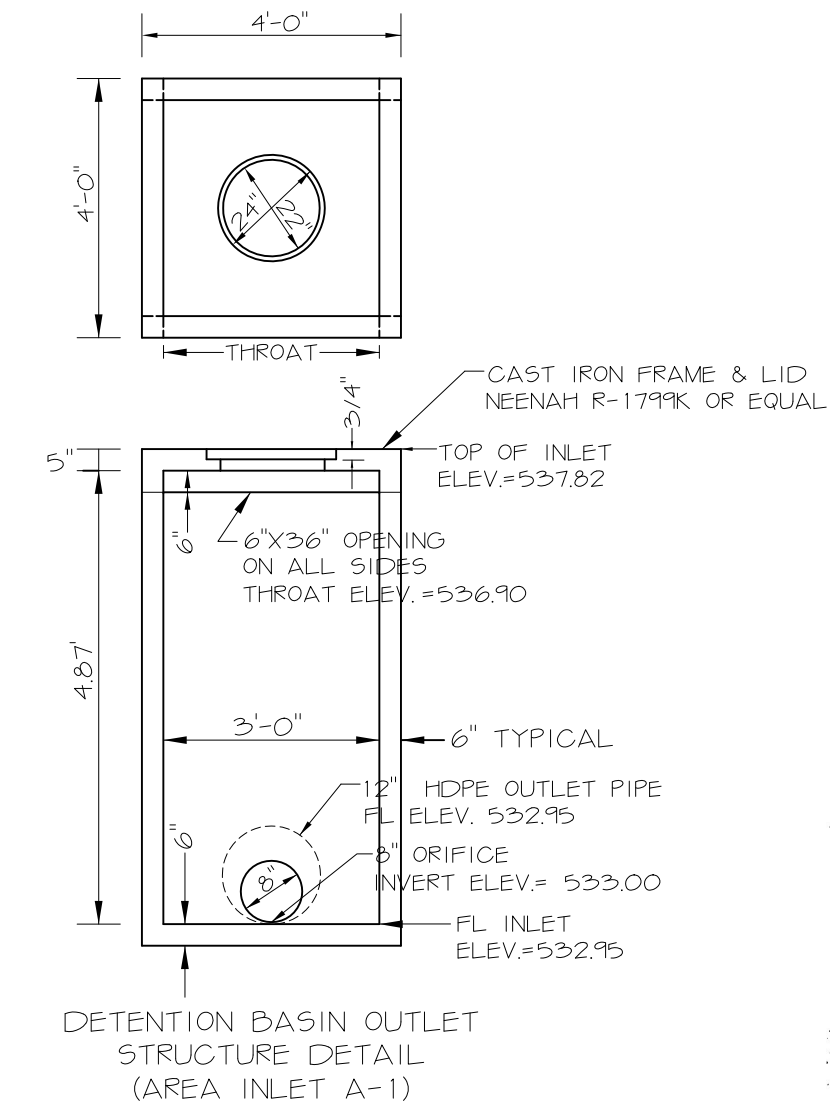


SCALE: 1"=20'



- NOTES AND SPECIFICATIONS:
1. All Construction shall conform to the "Standard Specifications for Road and Bridge Construction in Illinois", current edition, and to the specifications of the City of Collinsville, Illinois. Notify the City Engineer prior to construction.
 2. Contractor shall notify all utility companies prior to construction for location of existing underground facilities.
 3. All fill areas under pavement and sidewalk shall be compacted to 95% maximum density as determined by the Standard Proctor Test. The Contractor shall be responsible for obtaining compaction tests in fill areas.
 4. All storm sewer pipe under street pavement shall be reinforced concrete culvert pipe with recessed o-ring rubber gasketed joints meeting the requirements of ASTM C-76 and ASTM C-443.
 5. All storm sewer pipe not crossing under the street pavement shall be either RCCP or Corrugated Polyethylene (PE) pipe with a Smooth Interior in accordance with AASHTO M294 (ADS "N-12" or approved equal). Joints shall be watertight, bell coupling with non-cleated rubber gasketed O-ring. The pipe shall be installed in accordance with the manufacturer's recommendations. Galvanized steel Flared and sections shall be used.
 6. Storm sewer shall be designed to maintain a uniform slope where possible.
 7. Storm sewer pipe material shall be water main quality wherever it crosses a water main.
 8. The Contractor shall construct all sidewalks to provide a smooth transition between the existing sidewalk and the proposed sidewalk.



CURVE TABLE						
CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
C-1	300.00	61.27	30.74	61.17	S 84°54'50" E	11°42'09"
C-2	300.00	35.10	17.57	35.08	S 75°42'39" E	6°42'12"
C-3	300.00	38.05	19.05	38.03	S 68°43'32" E	7°16'03"
C-4	300.00	73.15	36.76	72.97	S 72°04'38" E	13°58'15"
C-5	300.00	135.08	68.70	133.94	S 77°59'27" E	25°47'53"

PROJECT NO. 2274
SCALE: 1"=20'
DATE: AUG. 20, 2024
DRAWN BY:
CHECKED BY:
DATE CHECKED:
REVISIONS:
9/23/2024
10/14/2024
10/27/2024
SHEET 1 OF 6

SHERBUT-CARSON-CLAXTON, LLC
#4 MEADOW HEIGHTS PROFESSIONAL PARK
COLLINSVILLE, IL 62234
(618) 345-5454
info@sherbutpc.com

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OWNER/DEVELOPER:
OSBORN DEVELOPMENT COMPANY
7700 STONEBRIDGE GOLF DR.
MARYVILLE, IL 62062
(618) 346-7878

LEGEND

DENOTES "NOW OR FORMERLY"

DENOTES SET IRON PIN (#5 RE-BAR)

DENOTES FOUND IRON PIN OR PIPE

DENOTES FOUND CONC. MONUMENT


DENOTES MEASURED DISTANCE

DENOTES RECORD DISTANCE

DENOTES STEEL FENCE T-POST

DENOTES RIGHT-OF-WAY LINE (PUBLIC STREET)

N/F
○
●
■
M
R
S

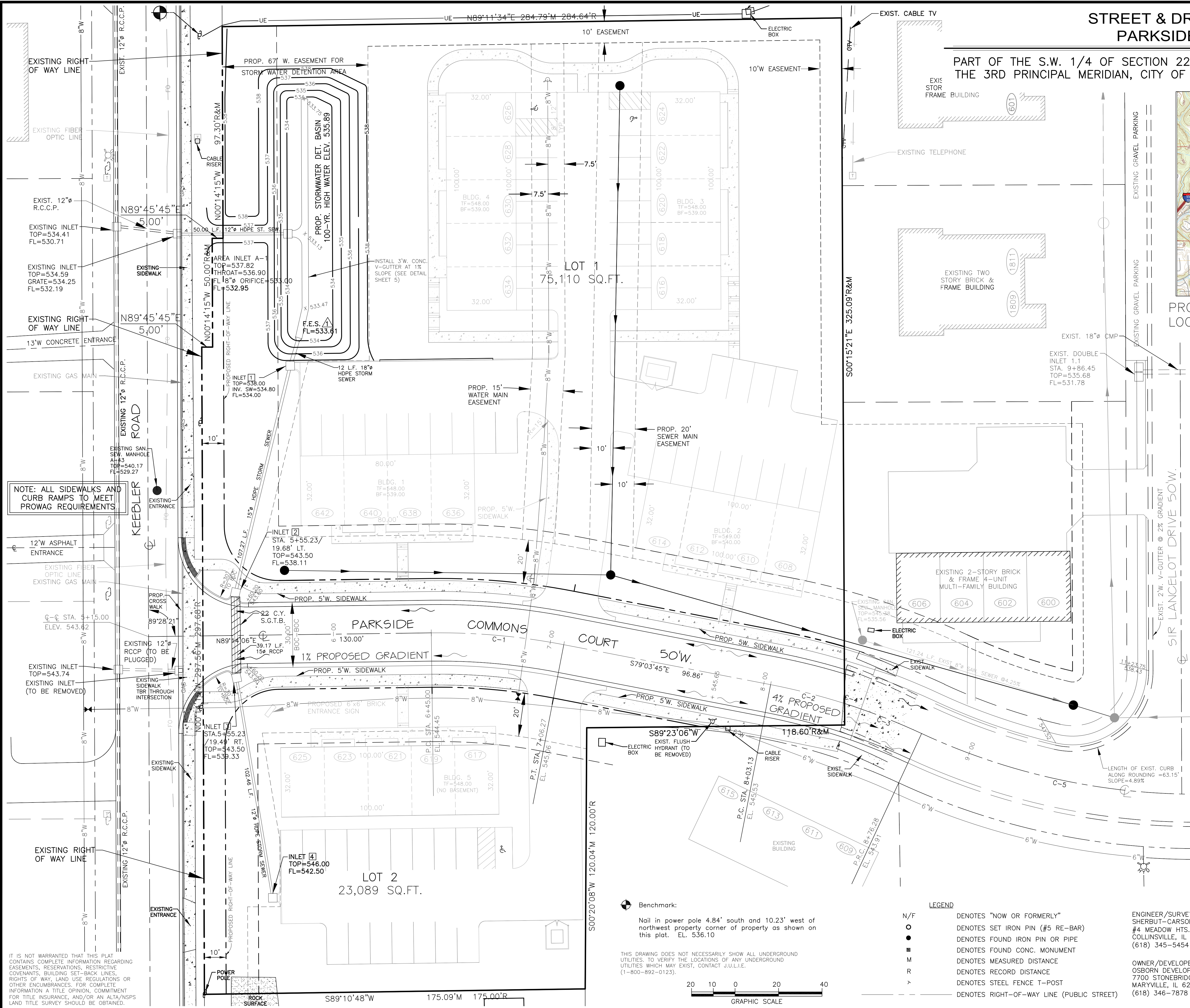
 Benchmark:

Nail in power pole 4.84' south and 10.23' west of northwest property corner of property as shown on this plat. EL. 536.10

THIS DRAWING DOES NOT NECESSARILY SHOW ALL UNDERGROUND UTILITIES. TO VERIFY THE LOCATIONS OF ANY UNDERGROUND UTILITIES WHICH MAY EXIST, CONTACT J.U.L.I.E. (1-800-892-0123).



IT IS NOT WARRANTED THAT THIS PLAT
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EASEMENTS, RESERVATIONS, RESTRICTIVE
COVENANTS, BUILDING SET-BACK LINES,
RIGHTS OF WAY, LAND USE REGULATIONS OR
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INFORMATION A TITLE OPINION, COMMITMENT
FOR TITLE INSURANCE, AND/OR AN ALTA/NSP
LAND TITLE SURVEY SHOULD BE OBTAINED.

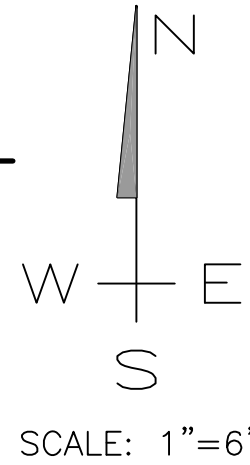


INTERSECTION DETAIL
PARKSIDE CONDOS

PART OF THE S.W. 1/4 OF SECTION 22 TOWNSHIP 3 NORTH, RANGE 8 WEST OF
THE 3RD PRINCIPAL MERIDIAN, CITY OF COLLINSVILLE, MADISON COUNTY, ILLINOIS

CONSTRUCTION NOTES (STREETS & SIDEWALKS AT INTERSECTIONS):

- All construction shall be in accordance with the "Standard Specifications for Road and Bridge Construction in Illinois", "Americans with Disabilities Act", and the Illinois Accessibility Code.
- All ramps at intersections shall have detectable warning features in accordance with IDOT Highway Standards. Detectable warnings shall consist of a surface of truncated domes aligned in a square or triangular pattern. The domes shall be configured in accordance with IDOT Standards. Detectable warning surfaces shall extend 24 inches in the direction of travel and the full width of the walking surface of the curb ramp, landing or blended transition. Detectable warning surfaces shall contrast visually with adjacent walking surfaces either light on dark, or dark on light-typically being red.
- All sidewalks shall be in accordance with City of Collinsville, The Illinois Accessibility Code, and PROWAG Requirements.



NOTE: ALL SIDEWALKS AND CURB RAMPS TO MEET PROWAG REQUIREMENTS

PARKSIDE COMMONS CT. 50'W.

5' TRANSITION FROM V-GUTTER TO IDOT B-6.18 BARRIER CURB

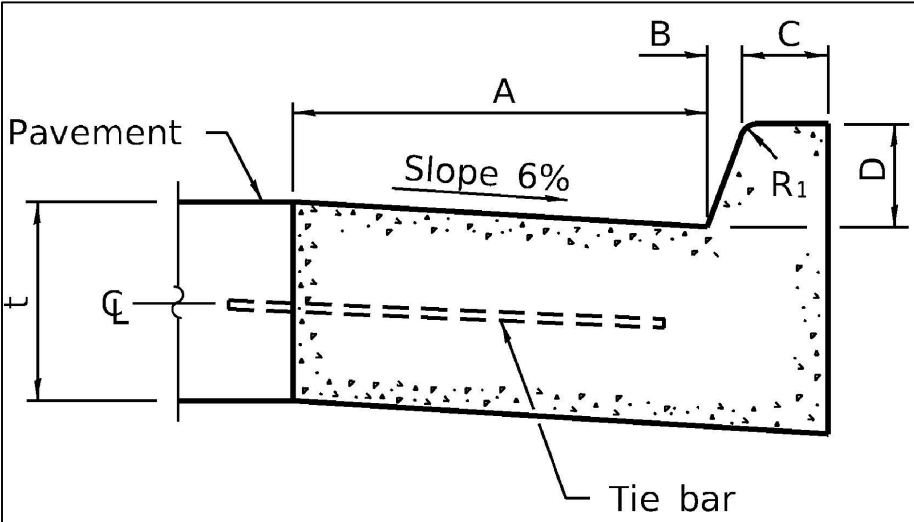
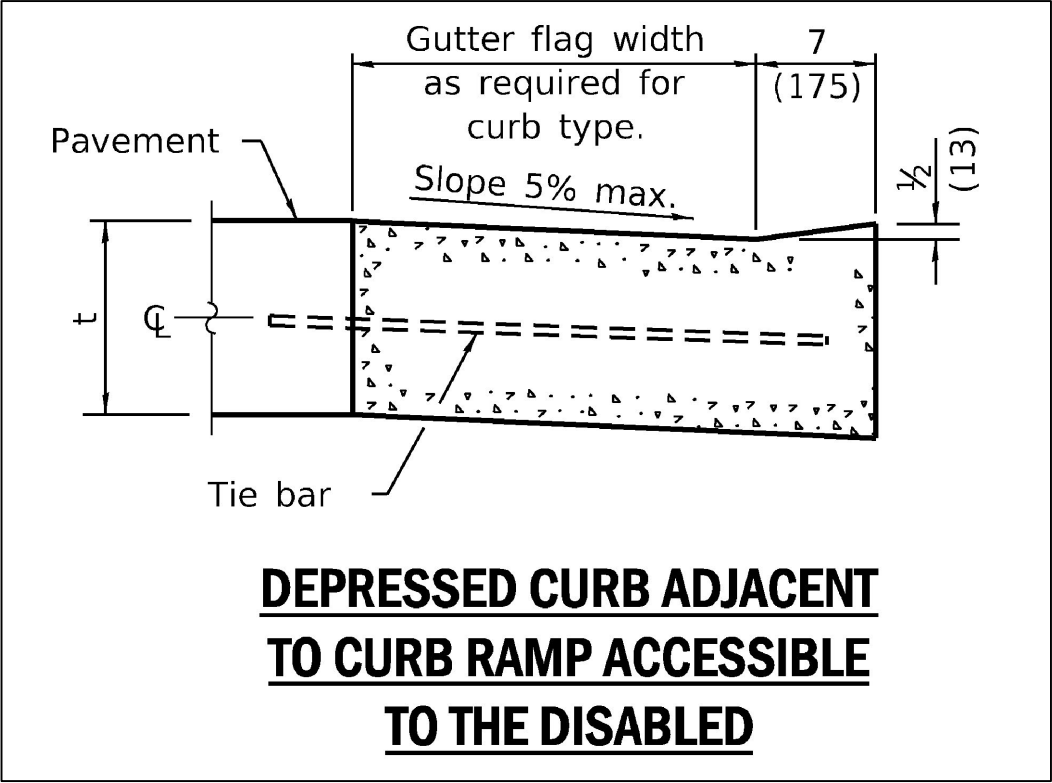
1% PROPOSED GRADIENT

PROPOSED 5'W. SIDEWALK AT 1% RUNNING SLOPE (2% CROSS-SLOPE MAX.)

COLLINSVILLE V-GUTTER

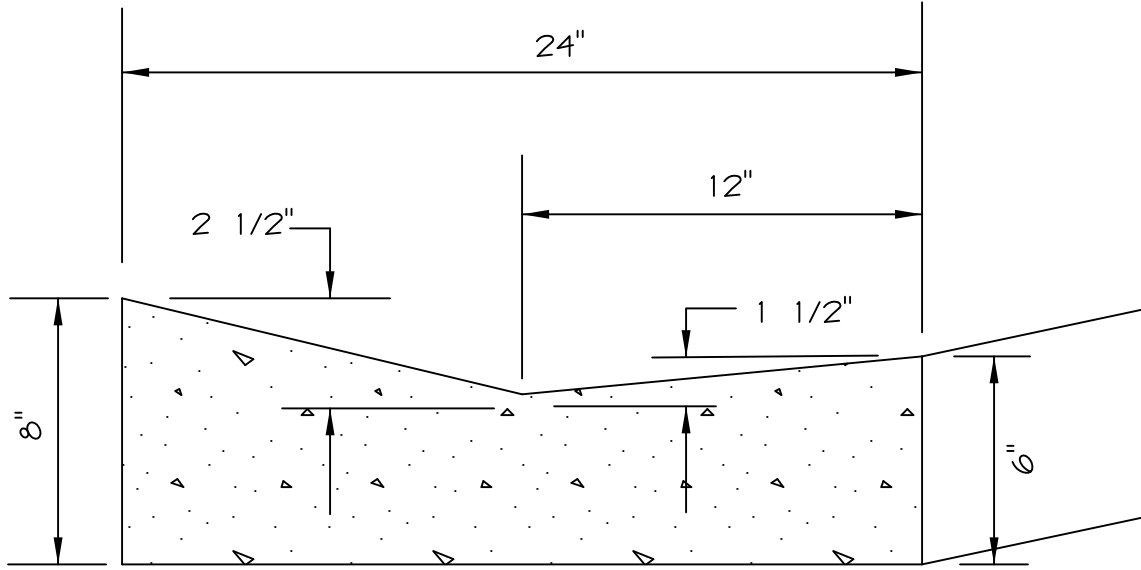
25.5 L.F. PROP. 5'W. SIDEWALK AT 1.00% RUNNING SLOPE (2% CROSS-SLOPE MAX.)

PROPOSED 6'x6' BRICK ENTRANCE SIGN



BARRIER CURB

TABLE OF DIMENSIONS BARRIER CURB					
TYPE	A	B	C	D	R ₁
B-6.06	6	1	6	6	1
(B-15.15)	(150)	(25)	(150)	(150)	(25)
B-6.12	12	1	6	6	1
(B-15.3)	(300)	(25)	(150)	(150)	(25)
B-6.18	18	1	6	6	1
(B-15.45)	(450)	(25)	(150)	(150)	(25)
B-6.24	24	1	6	6	1
(B-15.60)	(600)	(25)	(150)	(150)	(25)
B-9.12	12	2	5	9	1
(B-22.30)	(300)	(50)	(125)	(225)	(25)
B-9.18	18	2	5	9	1
(B-22.45)	(450)	(50)	(125)	(225)	(25)
B-9.24	24	2	5	9	1
(B-22.60)	(600)	(50)	(125)	(225)	(25)



NO SCALE

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INTERSECTION DETAIL

PARKSIDE CONDOS

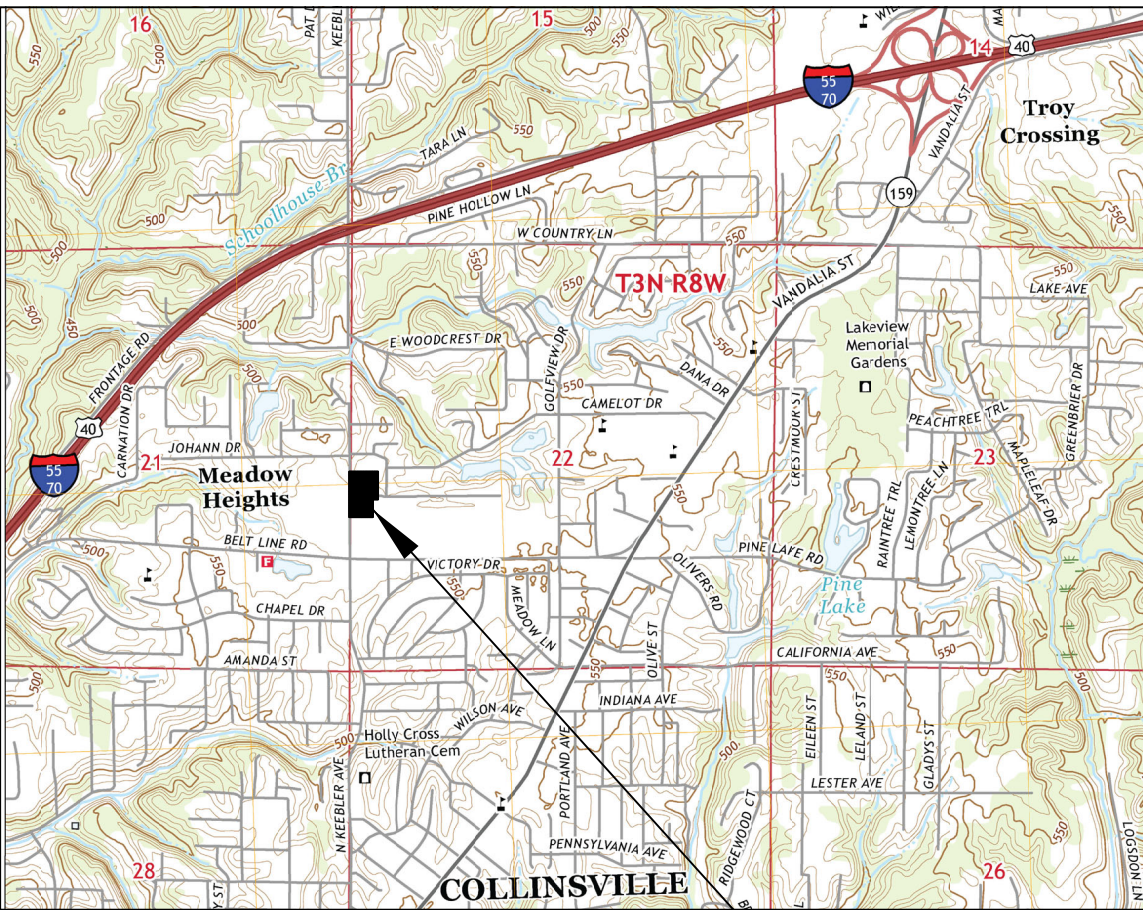
SHERBUT-CARSON-CLAXTON, LLC
#4 MEADOW HEIGHTS PROFESSIONAL PARK
COLLINSVILLE, IL 62234
(618) 345-5454
info@sherbutpc.com

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PROJECT NO. 2274
SCALE: 1"=6'
DATE: AUG. 20, 2024
DRAWN BY:
CHECKED BY:
DATE CHECKED:
REVISIONS:
9/23/2024
10/14/2024
10/27/2024
SHEET 2 OF 6

SAN. SEWER & WATER MAIN EXTENSION PLAN
PARKSIDE CONDOS

PART OF THE S.W. 1/4 OF SECTION 22 TOWNSHIP 3 NORTH, RANGE 8 WEST OF
THE 3RD PRINCIPAL MERIDIAN, CITY OF COLLINSVILLE, MADISON COUNTY, ILLINOIS



PROJECT
LOCATION

NOTES AND SPECIFICATIONS: (Sanitary Sewer and Water Main Construction)

- All Construction shall conform to the "Standard Specifications for Water and Sewer Main Construction in Illinois," current edition, and to the specifications of the City of Collinsville. Notify the City Engineer prior to construction.
- Contractor shall notify all utility companies prior to construction for location of existing underground facilities.
- All sanitary sewer service laterals shall be 6 inch diameter PVC (SDR-35). At the end of each sewer service lateral the contractor shall install a 6 inch cap. The end of each service lateral shall be marked with an unconnected section of 6" PVC pipe which shall extend to a point 3 feet above finished grade. The developer shall be responsible for obtaining ties to wye or tee locations from the contractor as well as ties from the lot corners to the ends of service laterals.
- Sanitary Sewer Tee and/or wye locations shall be accurately located by the contractor at the time of construction. A record shall be kept of these locations and provided to the Engineer.
- Service sewer lines shall be backfilled at street grade crossings with trench backfill to the proposed street subgrade with select granular trench backfill (I.D.O.T. CA-7 or approved equal).
- Sanitary sewer main and service laterals shall be PVC SDR 35 ASTM 3034 with elastomeric gaskets (ASTM 3212) and Class I bedding and backfill in accordance with ASTM D 2321.
- Manhole frames and covers shall be Neenah R 1916 D or approved equal, with bolted waterproof frame and lid.
- The Contractor shall arrange for air and mandrel testing on all sanitary sewer lines and the City shall video inspect and approve all main lines prior to any building connections.
- All Water main material for open-cut installation shall be SDR-21 PVC with push-on joints/ elastomeric gasket (ASTM D3139), mechanical joint cast iron valves & fittings.
- Water main material for bored installation shall be Class 150 PVC, SDR-18, (AWWA C-900) with restrained joints (Certa-Lok or approved equal).
- All water main valves and fittings shall be cast iron mechanical joint and shall include transition gaskets.
- All water main shall have 42 inches minimum cover.
- Copper tracer wire shall be installed along entire length of water main.
- All Fire Hydrants shall be a five and one-quarter (5 1/4) inch barrel, three-way Mueller Centurion Model A-423 or Kennedy Guardian or American Dorrington B-62-B with a 3.5 ft. bury, 2" @ 2' discharges, a four and one-half (4 1/2) inch steamer connection, and National Standard threads. A six (6) inch resilient wedge gate valve shall be installed between two (2) to three (3) feet ahead of all hydrants. The valve shall be anchored, blocked or rodged to the upstream water main in accordance with Environmental Protection Agency (EPA) and American Water Works Association (AWWA) guidelines. All hydrants shall be painted yellow in color.
- Infiltration, Exfiltration and Deflection testing shall be performed for all sewer main in accordance with Sec. 31-1.12 of the Std. Specifications for Water and Sewer Main in Illinois.
- Sanitary Sewer and Watermain separation shall conform to section 41-2.01 of the "Standard Specifications for Water and Sewer Main Construction in Illinois" and 35 IL Adm. Code, Subtitle F, Section 653.119.
- Sanitary Sewer shall be tested for leakage and deflection in accordance with Sec. 31-1.12 of the "Standard Specifications for Water and Sewer Main Construction in Illinois."
- All sanitary sewer manholes shall be vacuum tested in accordance with ASTM C 1244-93. "Standard Test Method for Concrete Sewer Manholes by the Negative Air Pressure (vacuum) Test."
- Wye or tee locations shown hereon are approximate and should be verified by the lot owner prior to building construction.
- Storm sewer pipe material shall be water main quality wherever it crosses a water main.

GENERAL NOTES:

- THE BASIS OF BEARINGS SHOWN HEREON IS IL STATE PLANE WEST COORD. SYSTEM, NAD83, US SURVEY FOOT. ELEVATIONS ARE BASED ON NGVD 1929 DATUM.
- THE SUBJECT PROPERTY IS LOCATED WITHIN "ZONE C" AS IDENTIFIED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY AS SHOWN ON FLOOD INSURANCE RATE MAP PANEL NO. 170436 0120 B EFFECTIVE DATE: APRIL 15, 1982.
- THE SUBJECT PROPERTY IS CURRENTLY ZONED R-3. PROPOSED ZONING IS PLANNED R-3 MULTIFAMILY RESIDENTIAL ZONING DISTRICT.

Benchmark:

Nail in power pole 4.84' south and 10.23' west of
northwest property corner of property as shown on
this plat. EL. 536.10

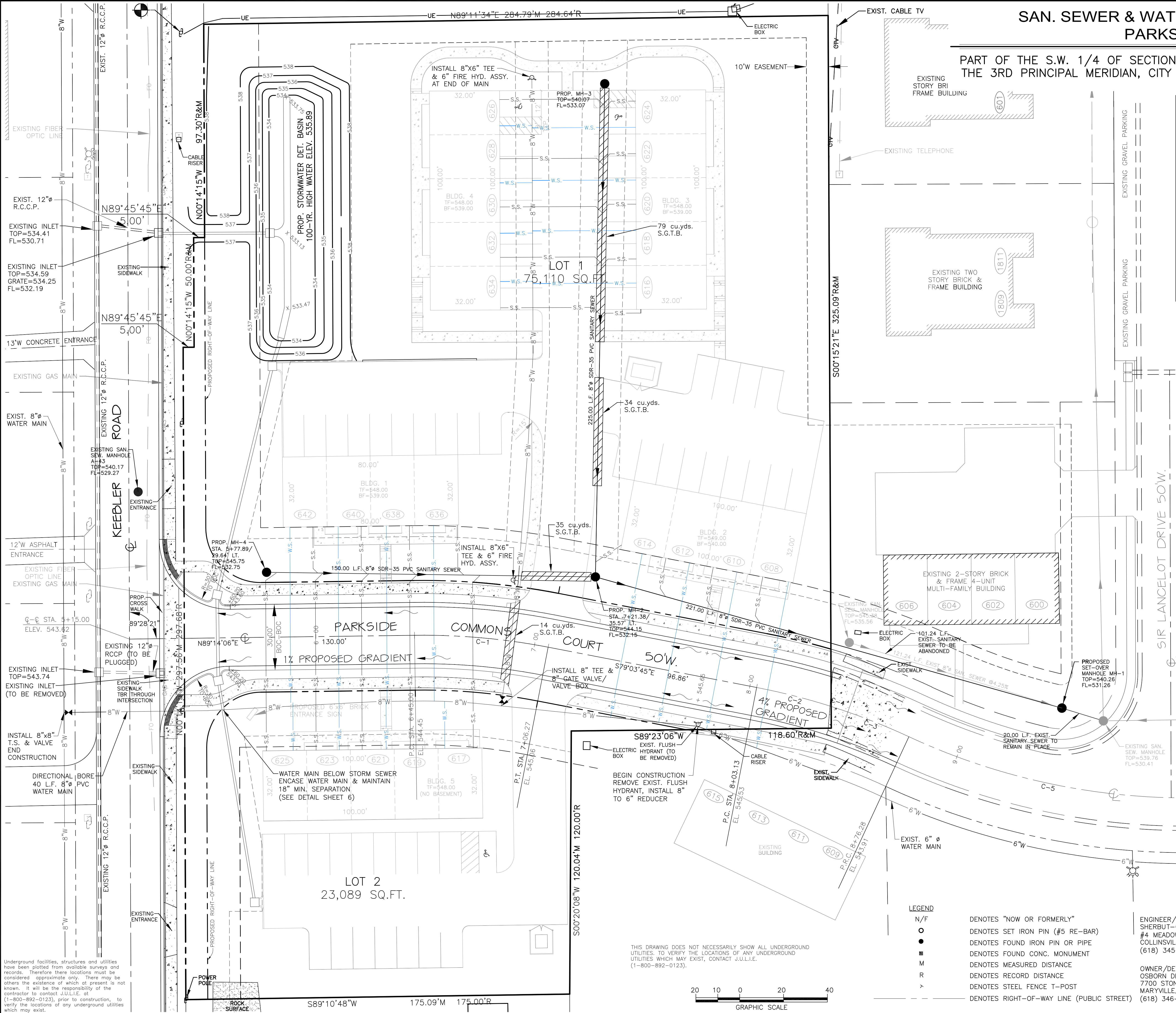
SANITARY SEWER & WATER
MAIN EXTENSION PLAN

PARKSIDE CONDOS

SHERBUT-CARSON-CLAXTON, LLC
#4 MEADOW HEIGHTS PROFESSIONAL PARK
COLLINSVILLE, IL 62234
(618) 345-5454
info@sherbutpc.com

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PROJECT NO. 2274
SCALE: 1"=20'
DATE: AUG. 20, 2024
DRAWN BY:
CHECKED BY:
DATE CHECKED:
REVISIONS:
10/14/2024
10/27/2024
SHEET 3 OF 6



Underground facilities, structures and utilities have been plotted from available surveys and records. Therefore these locations must be considered approximate only. There may be others the existence of which at present is not known. It will be the responsibility of the contractor to contact J.U.L.I.E. at (1-800-892-0123), prior to construction, to verify the locations of any underground utilities which may exist.

THIS DRAWING DOES NOT NECESSARILY SHOW ALL UNDERGROUND UTILITIES. TO VERIFY THE LOCATIONS OF ANY UNDERGROUND UTILITIES WHICH MAY EXIST, CONTACT J.U.L.I.E. (1-800-892-0123).

LEGEND

- N/F
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R
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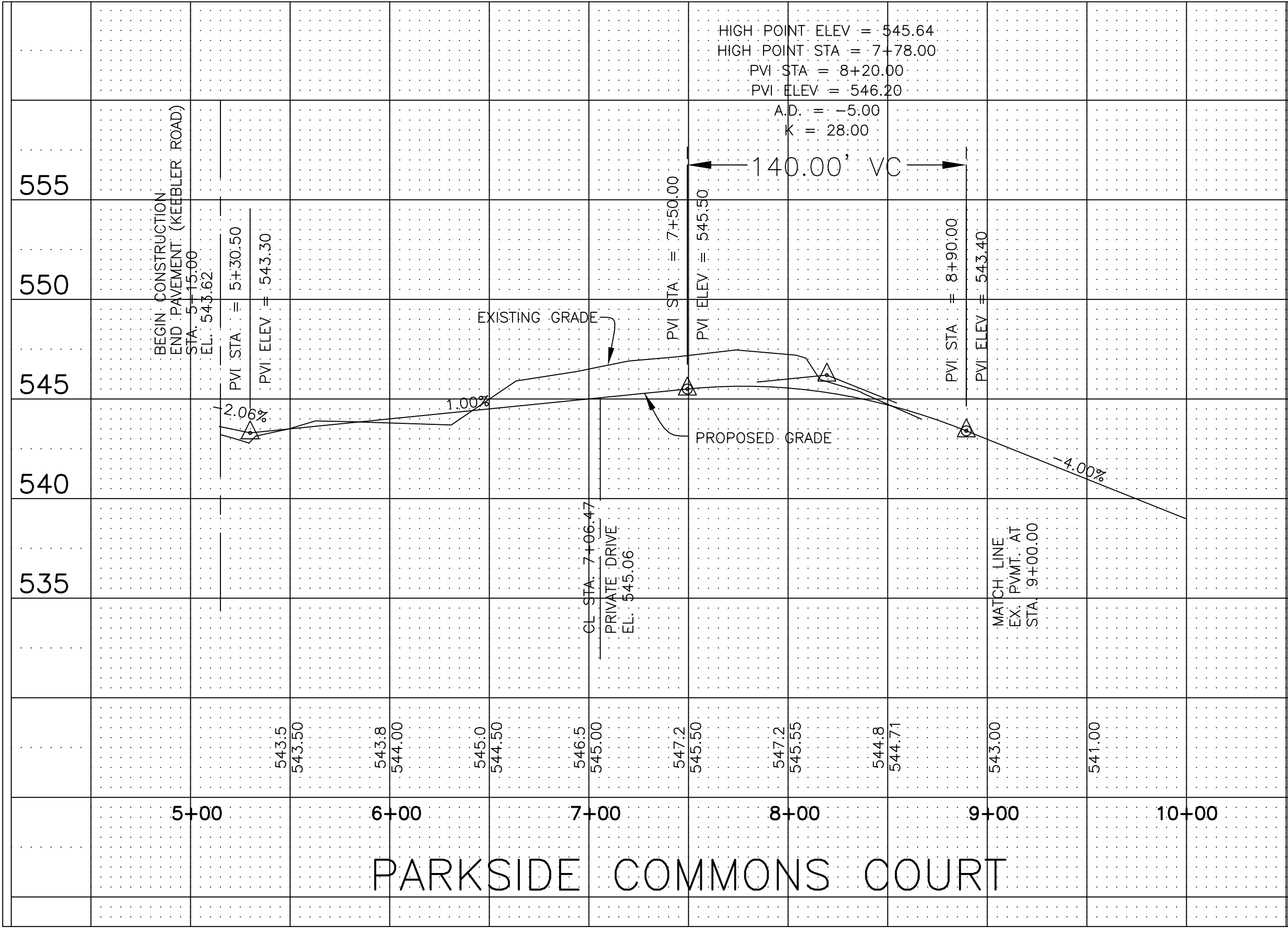
- DENOTES "NOW OR FORMERLY"
DENOTES SET IRON PIN (#5 RE-BAR)
DENOTES FOUND IRON PIN OR PIPE
DENOTES FOUND CONC. MONUMENT
DENOTES MEASURED DISTANCE
DENOTES RECORD DISTANCE
DENOTES STEEL FENCE T-POST
DENOTES RIGHT-OF-WAY LINE (PUBLIC STREET)

ENGINEER/SURVEYOR:
SHERBUT-CARSON-CLAXTON LLC
#4 MEADOW HTS. PROF. PARK
COLLINSVILLE, IL 62234
(618) 345-5454

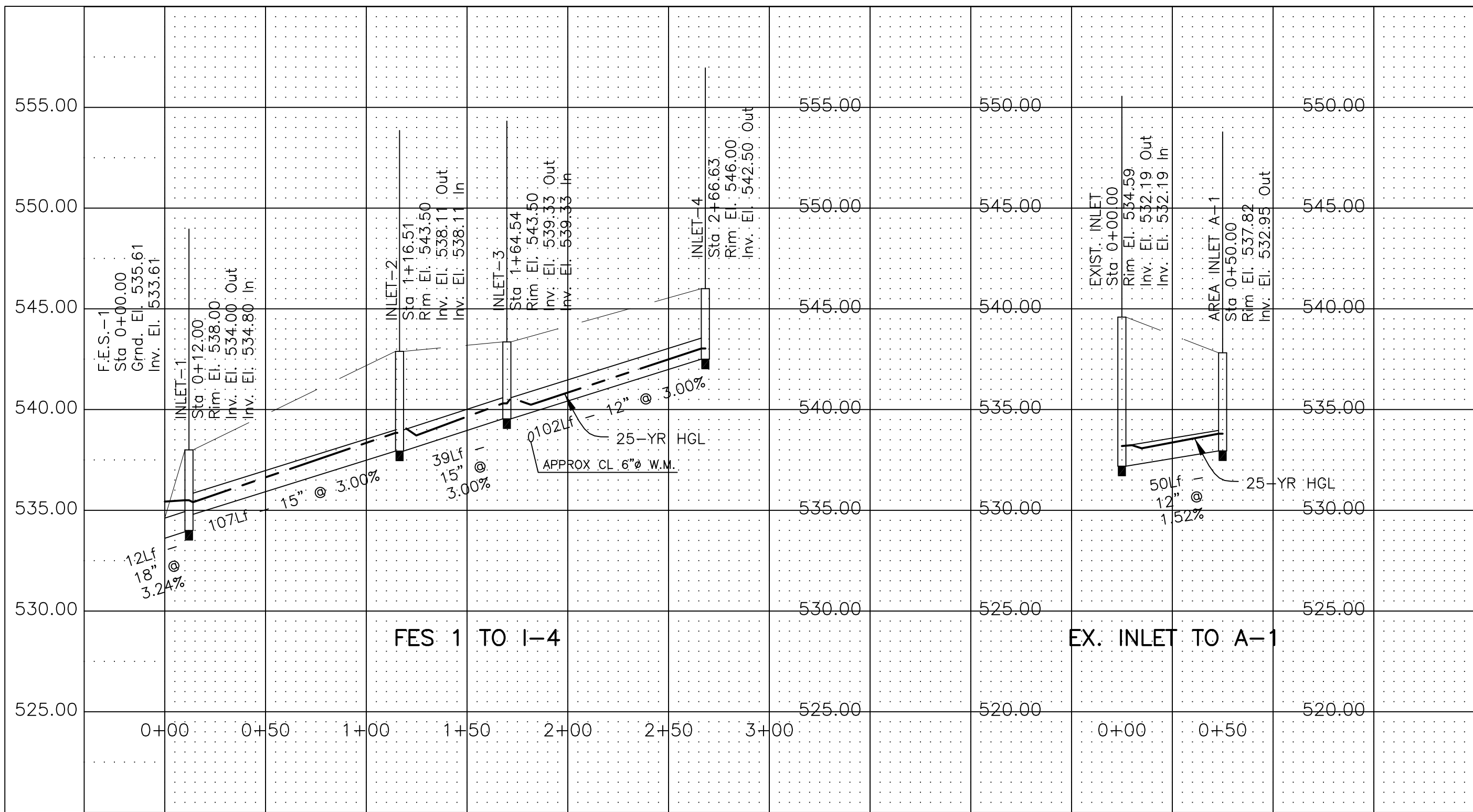
OWNER/DEVELOPER:
OSBORN DEVELOPMENT COMPANY
7700 STONEBRIDGE GOLF DR.
MARYVILLE, IL 62062
(618) 346-7878

PARKSIDE CONDOS

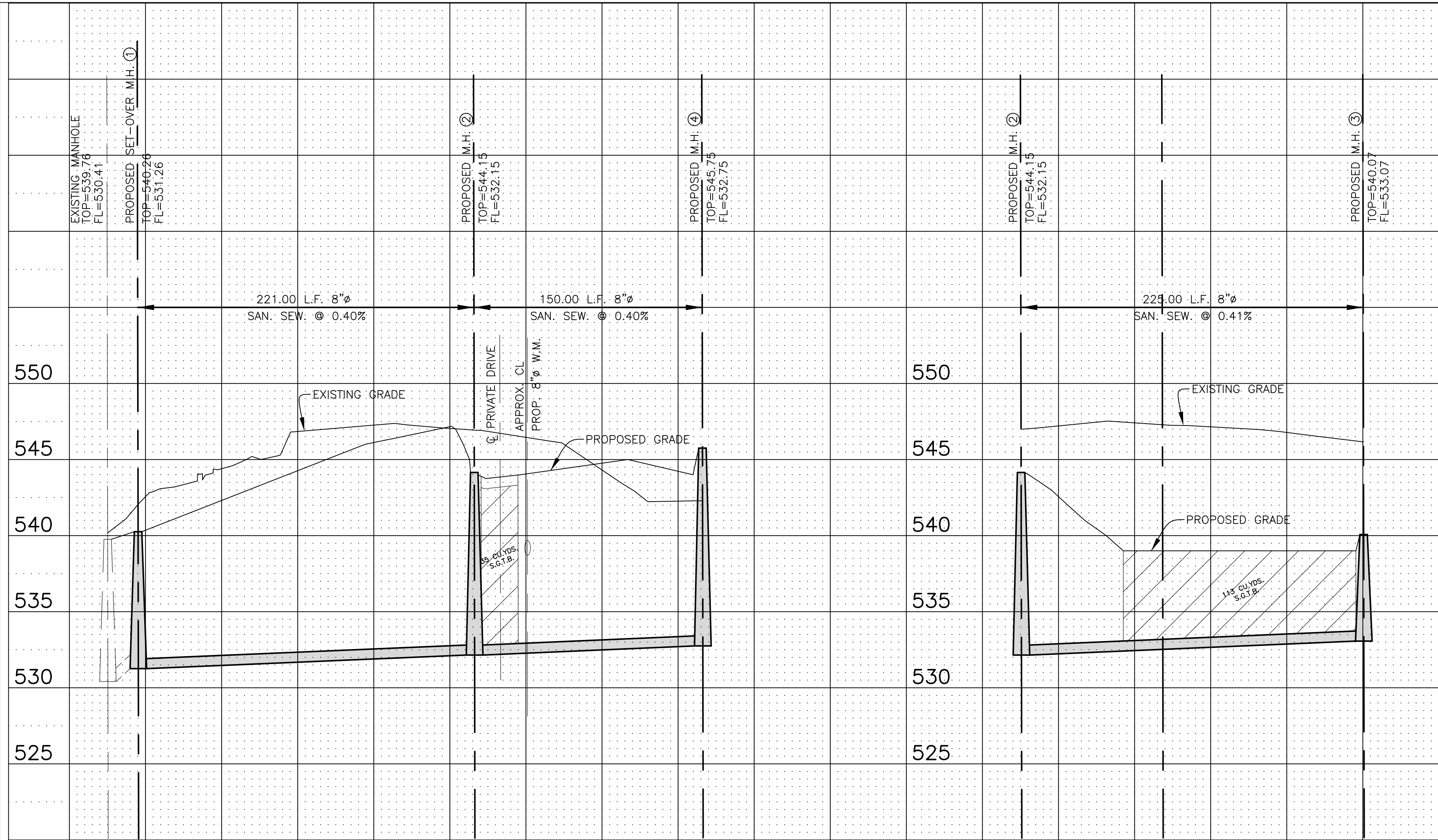
PART OF THE S.W. 1/4 OF SECTION 22 TOWNSHIP 3 NORTH, RANGE 8 WEST OF THE 3RD PRINCIPAL MERIDIAN, CITY OF COLLINSVILLE, MADISON COUNTY, ILLINOIS



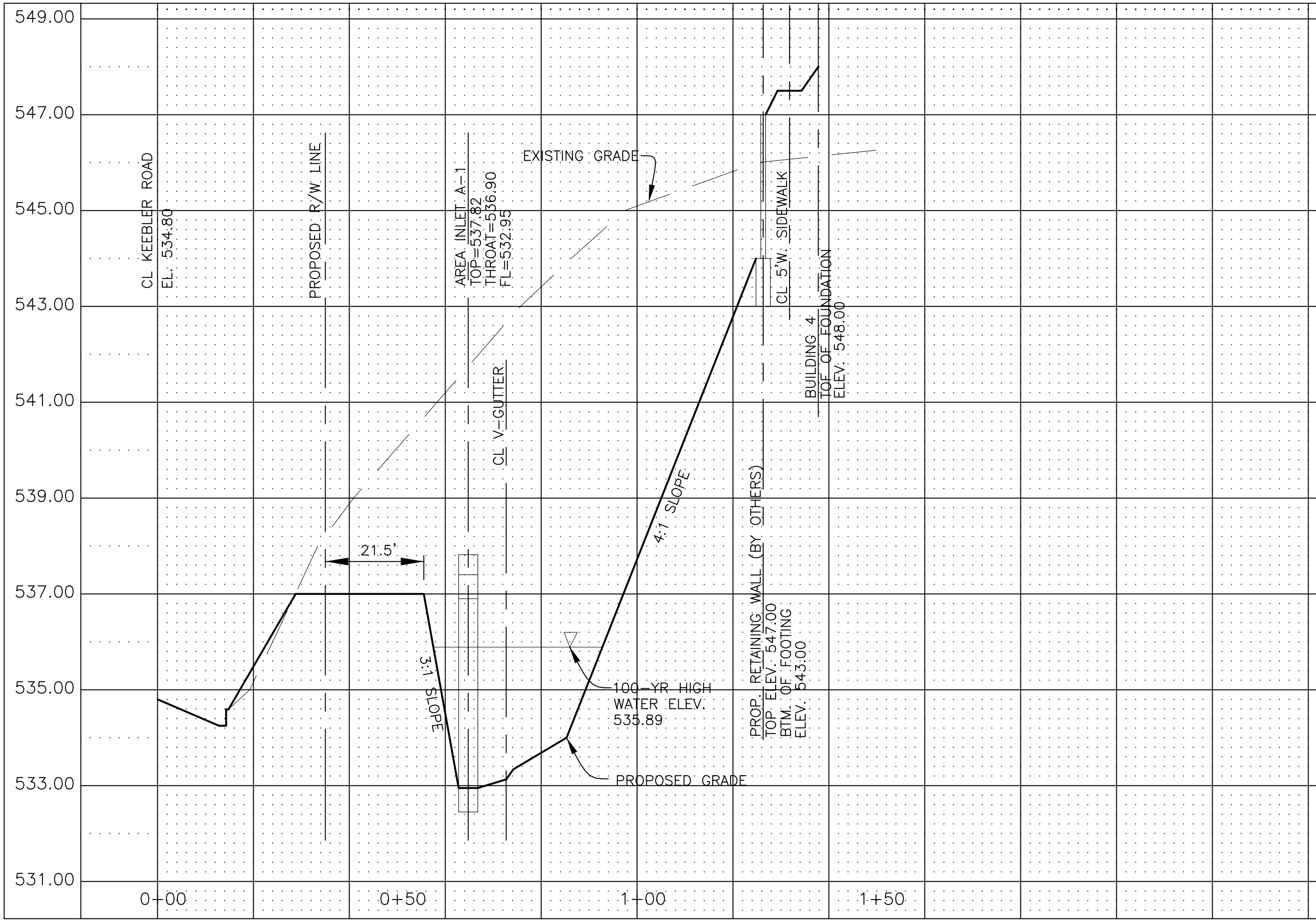
SCALE 1"=50'H, 1"=5'V



SCALE 1"=50'H, 1"=5'V



SCALE 1"=50'H, 1"=5'V



CROSS-SECTION THROUGH DETENTION BASIN AT CENTER LINE OF DETENTION BASIN OUTLET STRUCTURE A-1

SCALE 1"=20'H, 1"=2'V

PROFILES & CROSS-SECTIONS

PARKSIDE CONDOS

SHERBUT-CARSON-CLAXTON, LLC
#4 MEADOW HEIGHTS PROFESSIONAL PARK
COLLINSVILLE, IL 62234
(618) 345-5454
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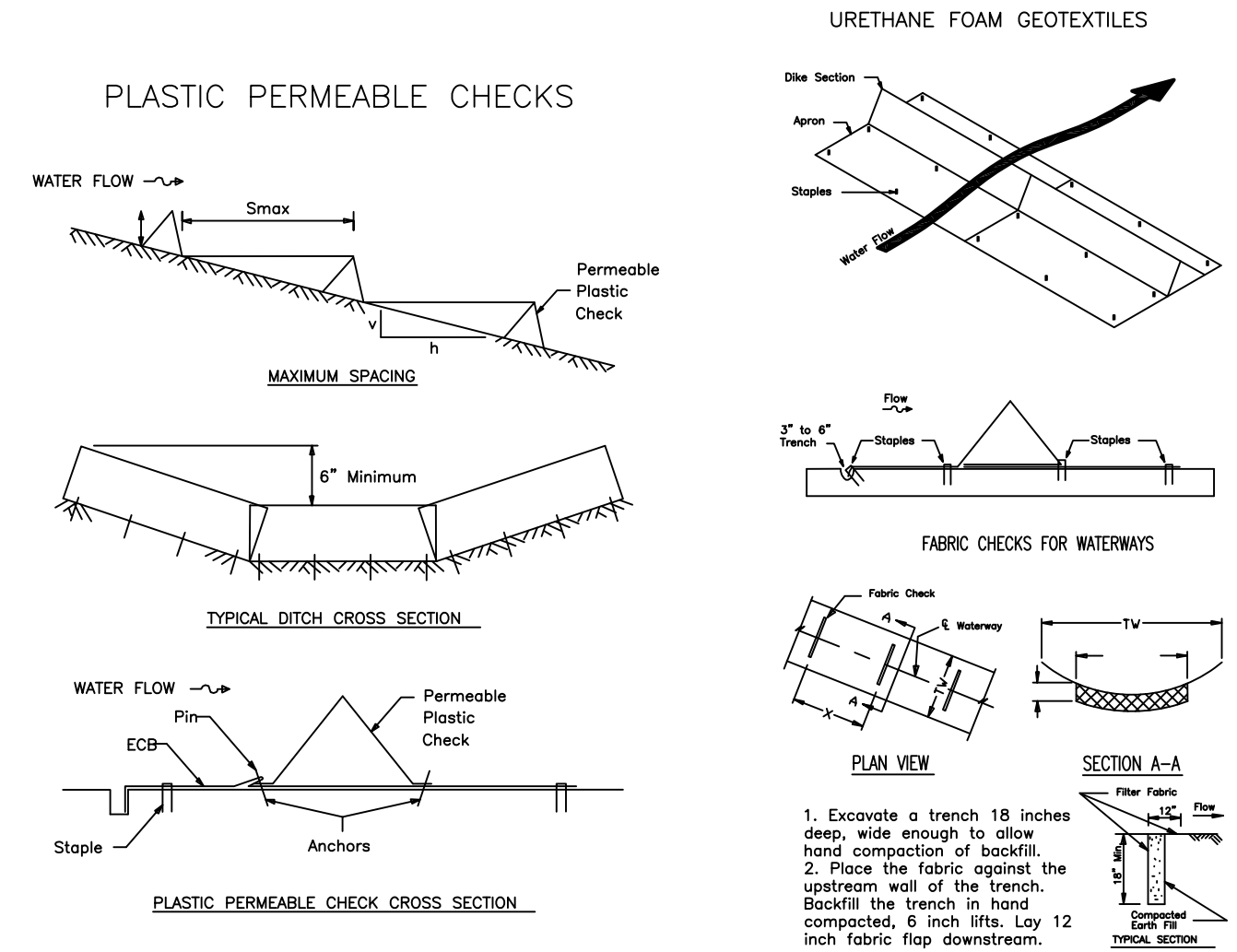
GRADING & STORM WATER POLLUTION PREVENTION PLAN
PARKSIDE CONDOS

PART OF THE S.W. 1/4 OF SECTION 22 TOWNSHIP 3 NORTH, RANGE 8 WEST OF
THE 3RD PRINCIPAL MERIDIAN, CITY OF COLLINSVILLE, MADISON COUNTY, ILLINOIS

SCALE: 1"=20'

Notes and Specifications:
(Grading and Sedimentation/Erosion Control)

- This construction is governed by an NPDES Permit issued by IEPA, and this "Storm Water Pollution Prevention Plan" (SWPPP).
- All construction shall conform to the "Standard Specifications for Soil Erosion and Sediment Control," current edition, and to the requirements of the Madison County Soil and Water Conservation District, and to the requirements of the City of Collinsville.
- The contractor shall notify all utility companies for location of existing underground facilities prior to construction.
- The Contractor shall be responsible for the removal of unusable and unstable material in all fill areas and their replacement with satisfactory material, where required.
- The Contractor shall provide erosion control and siltation control as shown on this plan and as necessary to prevent siltation of offsite properties until vegetation in all disturbed areas has been established at which time he shall be responsible for removal of all temporary siltation and erosion control structures and repair of any eroded areas.
- The Contractor shall perform grading and erosion control work in the sequence of construction activities as outlined in the "Construction Pollution Prevention Plan" prepared for this project.
- The contractor shall employ best management practices (BMP's) to minimize the transport of sediment from the site and to control erosion. BMP's shown on this sheet are examples only, and are not intended to be all-inclusive. The contractor shall employ additional measures as required to comply with State of Illinois water quality standards.
- Slopes for disturbed areas are identified on this plan drawing. Where soil disturbing activities cease in an area for more than fourteen (14) days, the disturbed areas shall be protected from erosion by stabilizing the area with mulch or other similarly effective erosion control BMP's. If the slope of the area is greater than 3:1 or if the slope is greater than 3 percent and greater than 150 feet in length, the disturbed area shall be protected with mulch or other similarly effective erosion control BMP's if activities cease for more than seven (7) days. These requirements do not apply to the slopes of a sediment basin or the areas that clearly drain thereto.
- The contractor shall ensure that BMP's are properly installed at the locations and relative times specified in the SWPPP. Peripheral runoff from disturbed areas shall be installed and marked for preservation before general site clearing is started. Storm water discharges from disturbed areas which leave the site shall pass through an appropriate impediment to sediment movement, such as a sedimentation basin, sediment traps, silt fences, or other BMP's prior to leaving the land disturbance site.
- The contractor shall inspect all disturbed areas on a regular schedule (at a minimum of once per week) and within 72 hours following periods of heavy rainfall. All BMP's and other pollution control measures shall be inspected for proper installation, operation, and maintenance. Locations where storm water leaves the site shall be inspected for evidence of erosion or sediment deposition. Any deficiencies shall be noted in a weekly report of the inspection(s) and corrected within seven (7) days. The contractor shall keep a log of all inspections and corrective action taken in accordance with the requirements of the SWPPP.
- The contractor shall maintain a copy of the IDNR land disturbance permit and the SWPPP at the site at all times. Additional copies shall be provided to those who are responsible for the implementation of the SWPPP and the installation and maintenance of BMP's.



LEGEND

- 524— PROPOSED CONTOURS
- 530— EXISTING CONTOURS
- S— SILT FENCE
- SF— PROPOSED STORM SEWERS
- DC—DC— PROPOSED DITCH CHECK

GROSS AREA OF SITE = 2.65 ACRES
R.O.W. TO BE DEDICATED = 0.40 ACRES
NET AREA OF SITE = 2.25 ACRES

GRADING & STORM WATER POLLUTION
PREVENTION PLAN (SWPPP)

PARKSIDE CONDOS

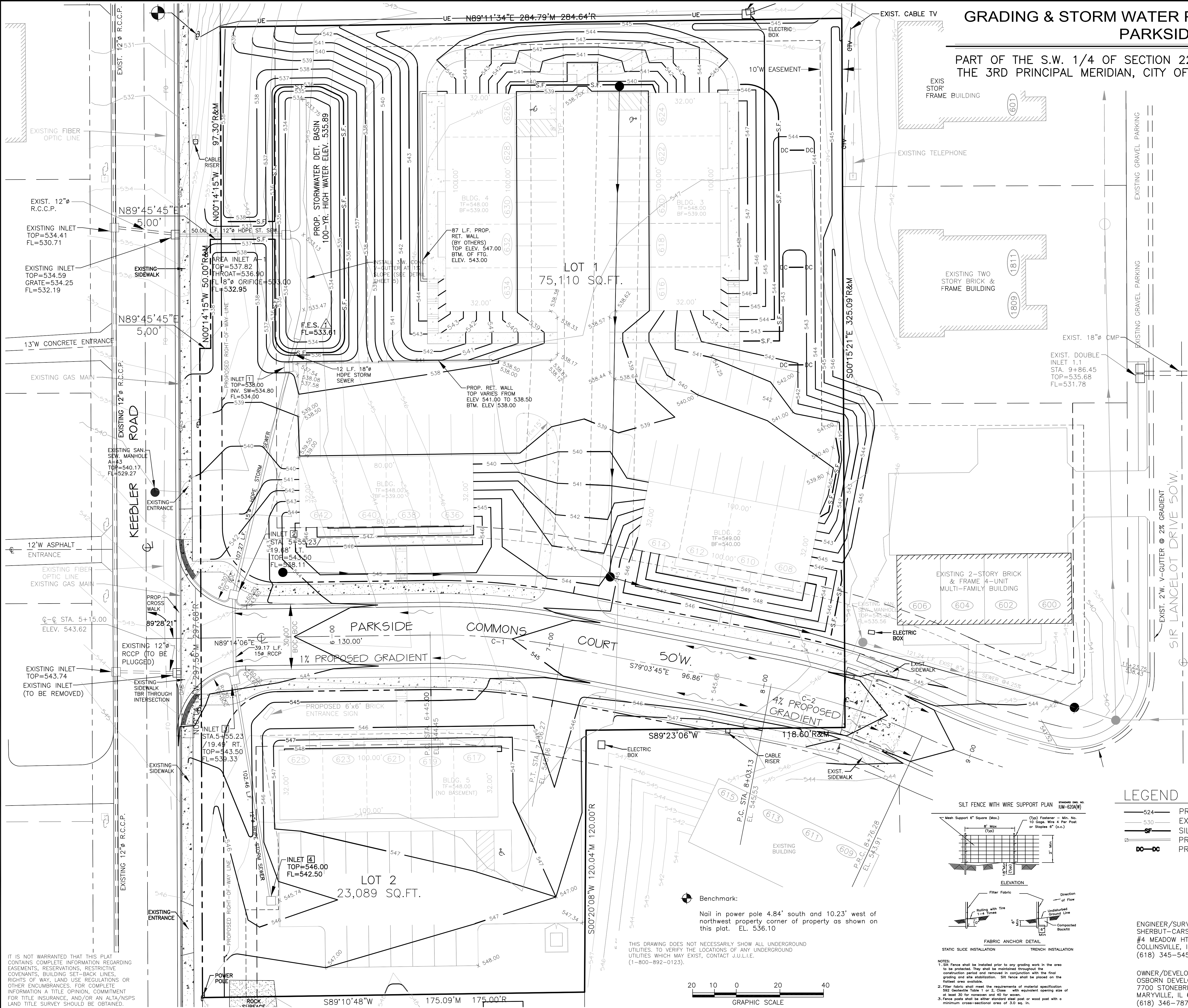
SHERBUT-CARSON-CLAXTON, LLC
#4 MEADOW HEIGHTS PROFESSIONAL PARK
COLLINSVILLE, IL 62234
(618) 345-5454
info@sherbutpc.com

ENGINEER/SURVEYOR:
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SHEET 5 OF 6



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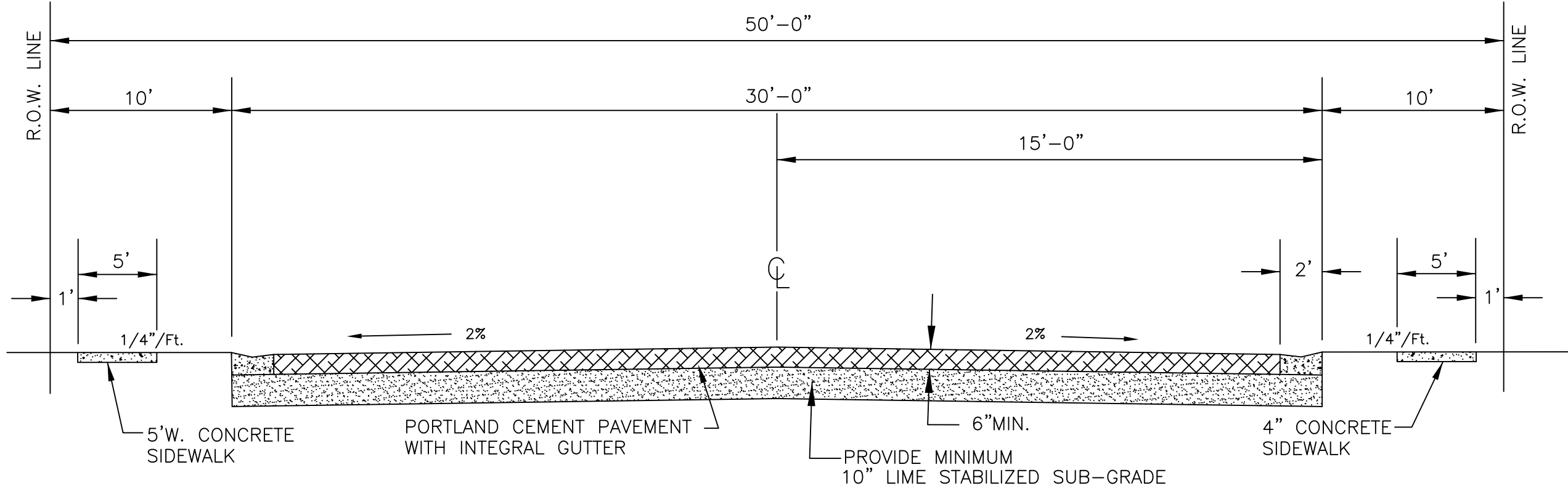
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Benchmark:
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northwest property corner of property as shown on
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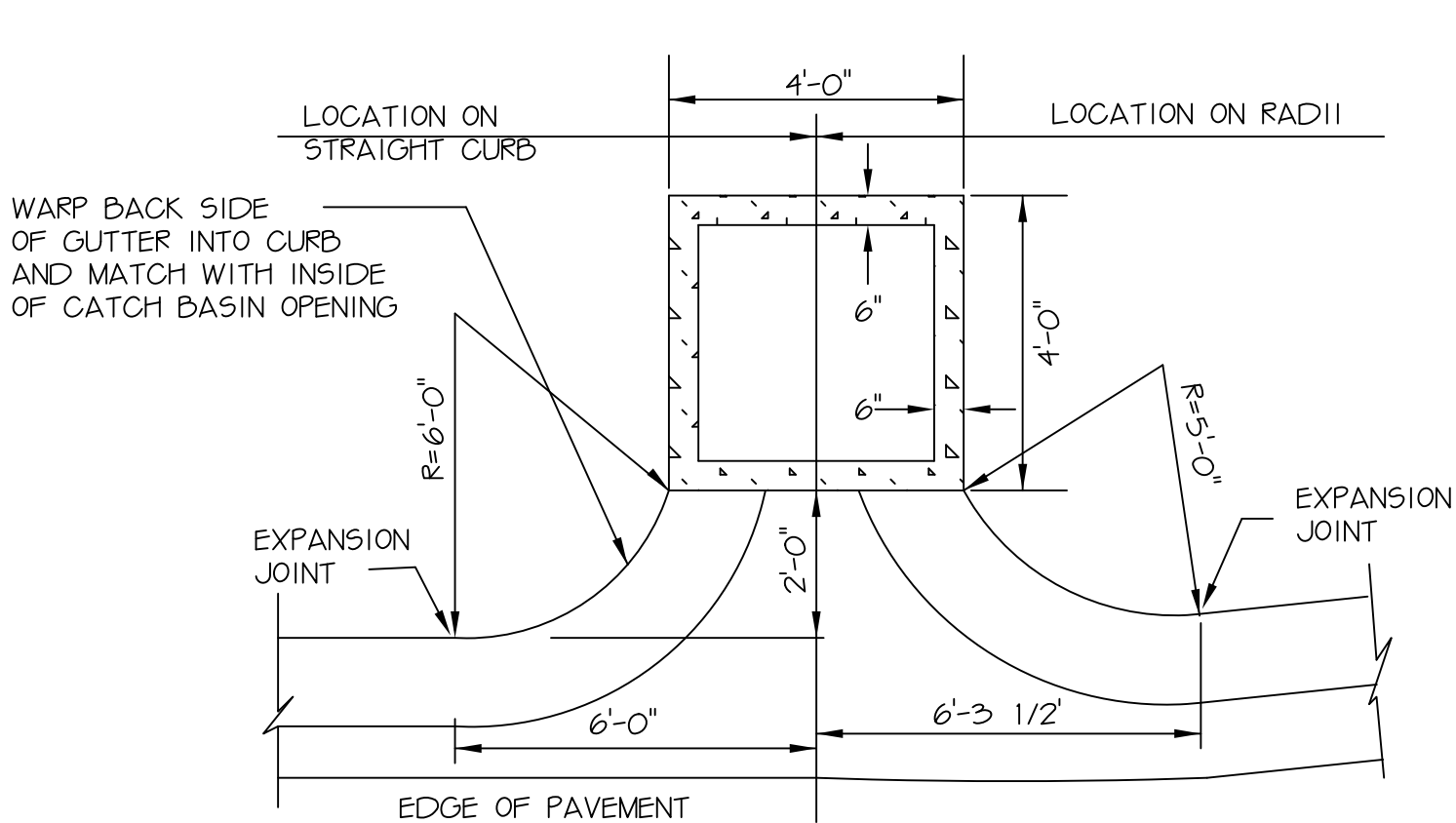
PARKSIDE CONDOS

PART OF THE S.W. 1/4 OF SECTION 22 TOWNSHIP 3 NORTH, RANGE 8 WEST OF THE 3RD PRINCIPAL MERIDIAN, CITY OF COLLINSVILLE, MADISON COUNTY, ILLINOIS



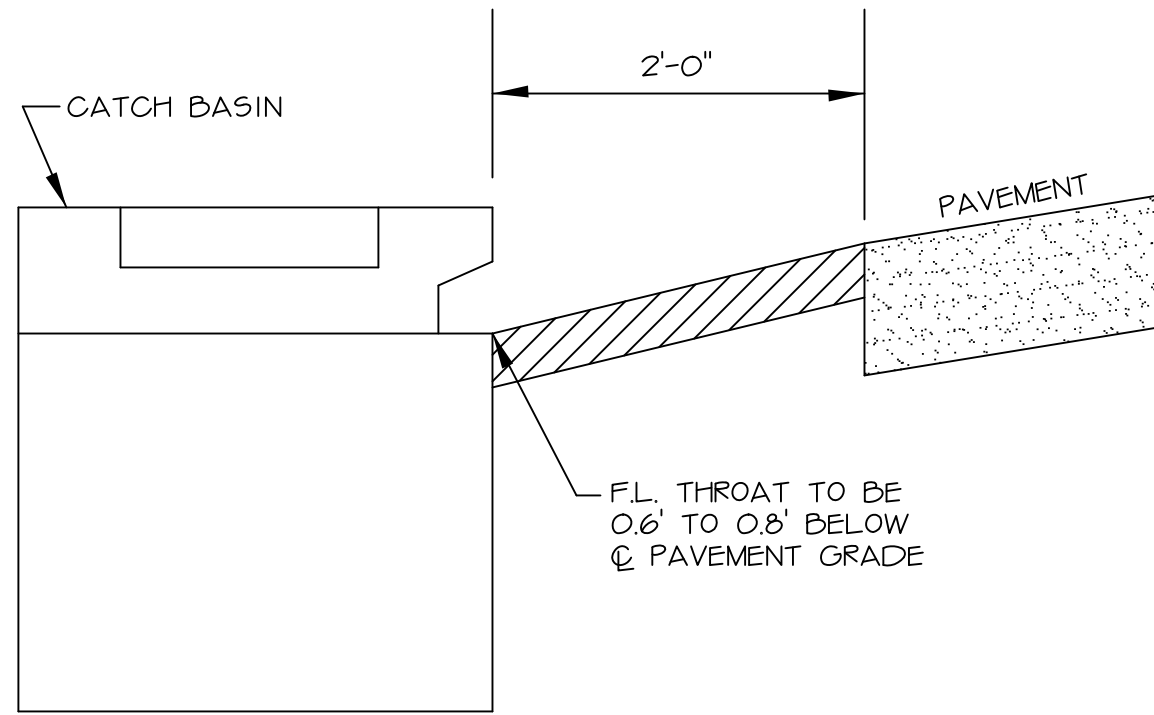
TYPICAL LOCAL STREET-RESIDENTIAL SECTION

(ALL PAVEMENT CONSTRUCTION TO COMPLY WITH THE CURRENT CITY ORDINANCE ON PAVEMENT CONSTRUCTION AND COMPOSITION)
(NOT TO SCALE)

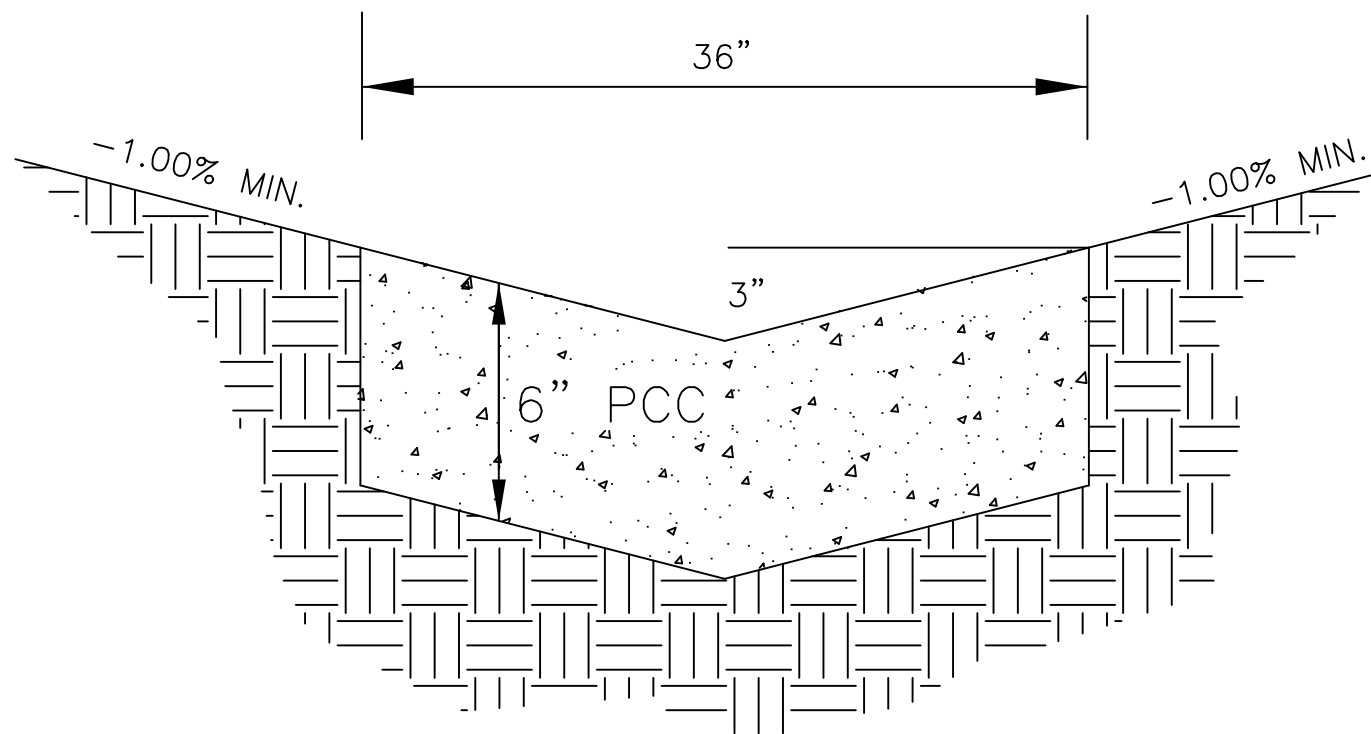


TYPICAL INLET LOCATION DETAIL

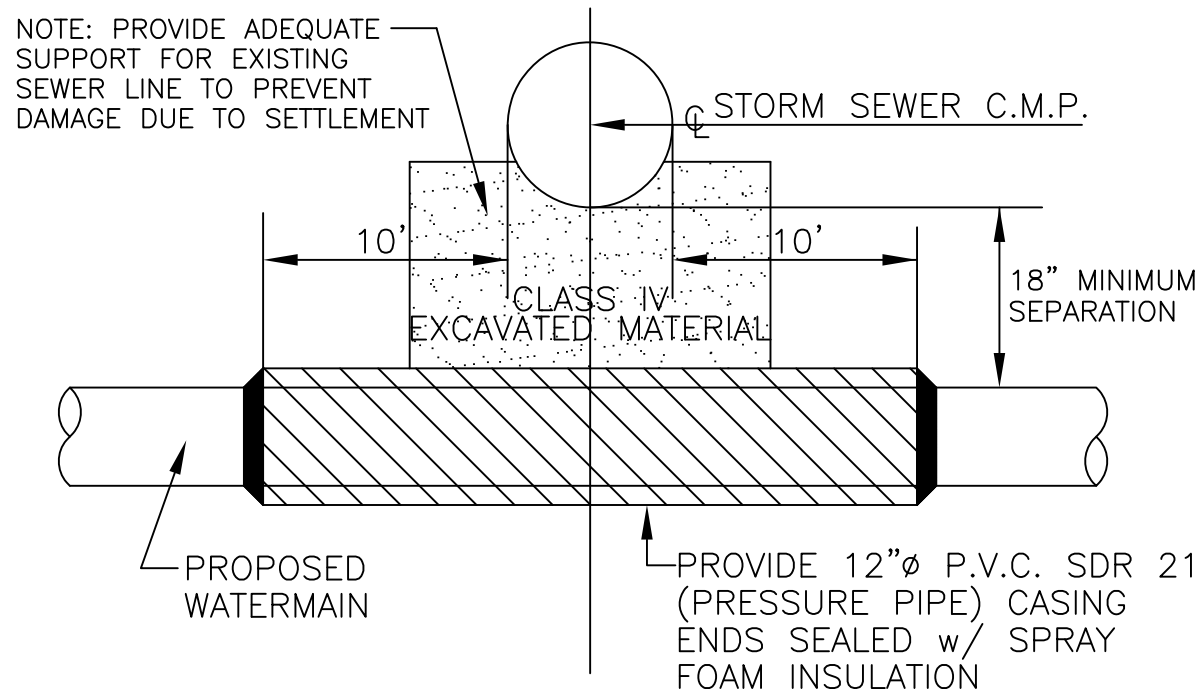
NO SCALE



V-TYPE GUTTER OUTLET

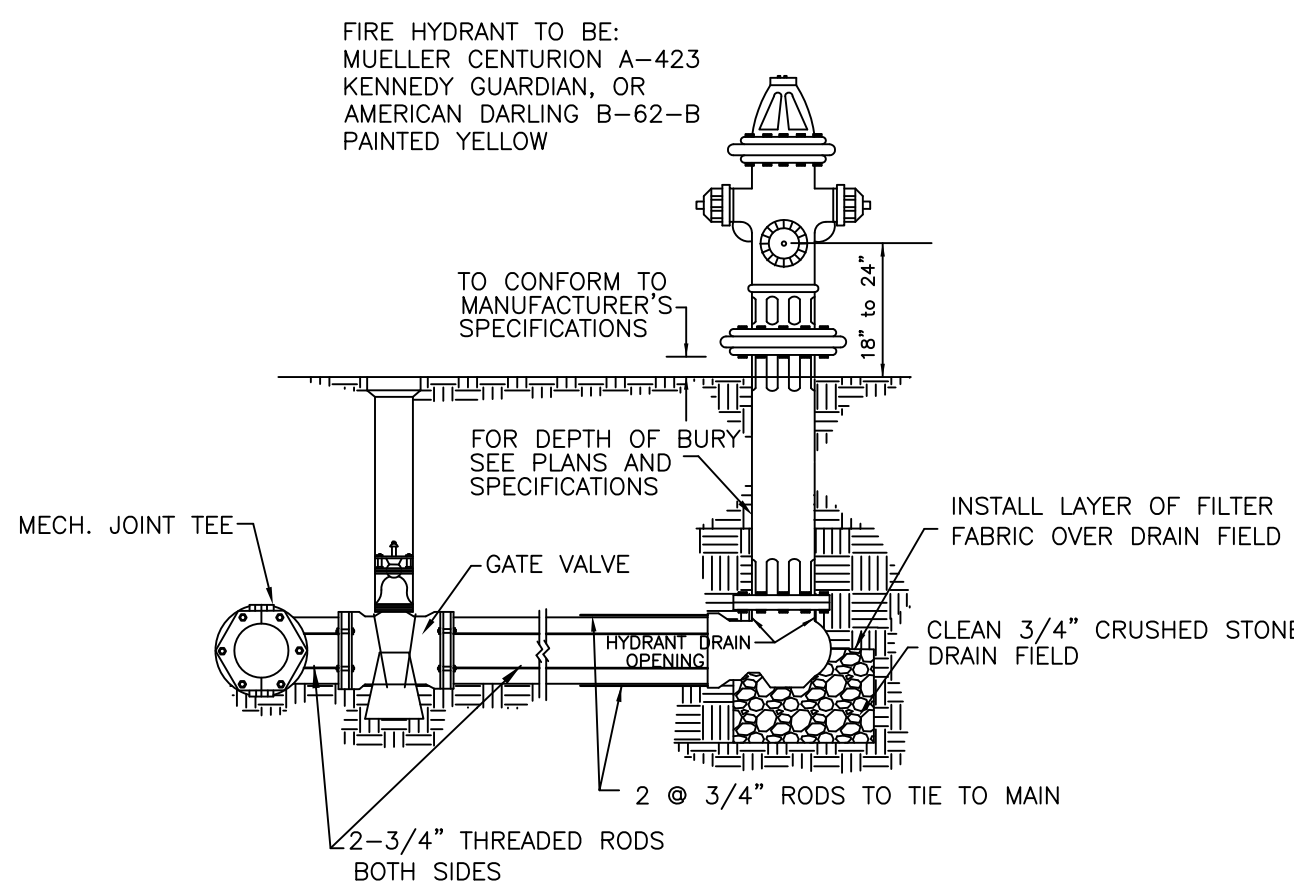


CONCRETE FLUME
(DETENTION BASIN)

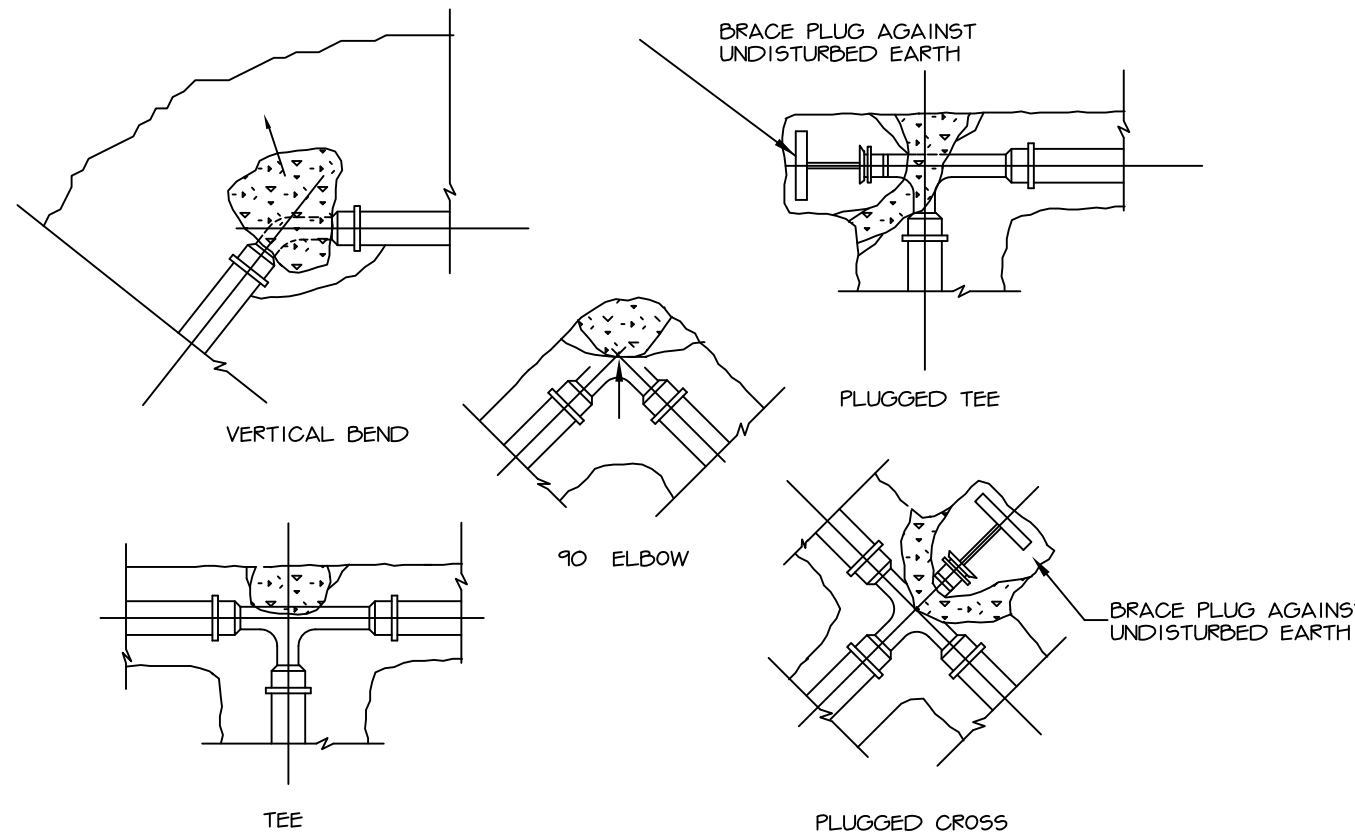


WATER AND SEWER SEPARATION

(WATER MAIN BELOW SAN. SEWER OR STORM SEWER)

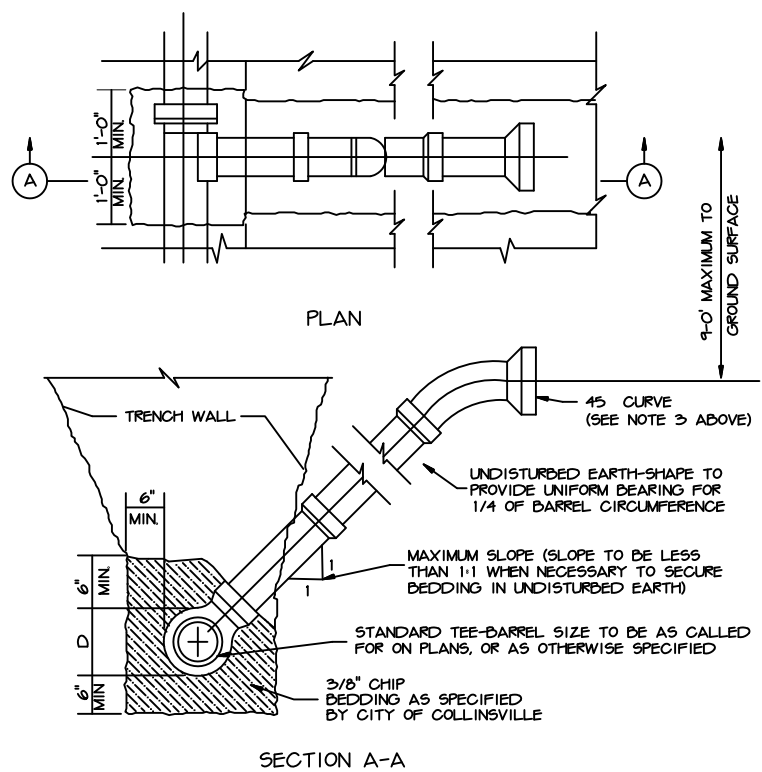


FIRE HYDRANT ASSEMBLY

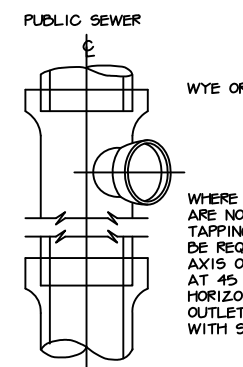


NOTES:
ALL BLOCKS BEAR AGAINST UNDISTURBED EARTH.
ARROWS INDICATE DIRECTION OF THRUST.
ALL BLOCKS TO BE 3000 P.S.I. CONCRETE.
ALL FITTINGS SHOWN IN PLAN EXCEPT VERTICAL BEND

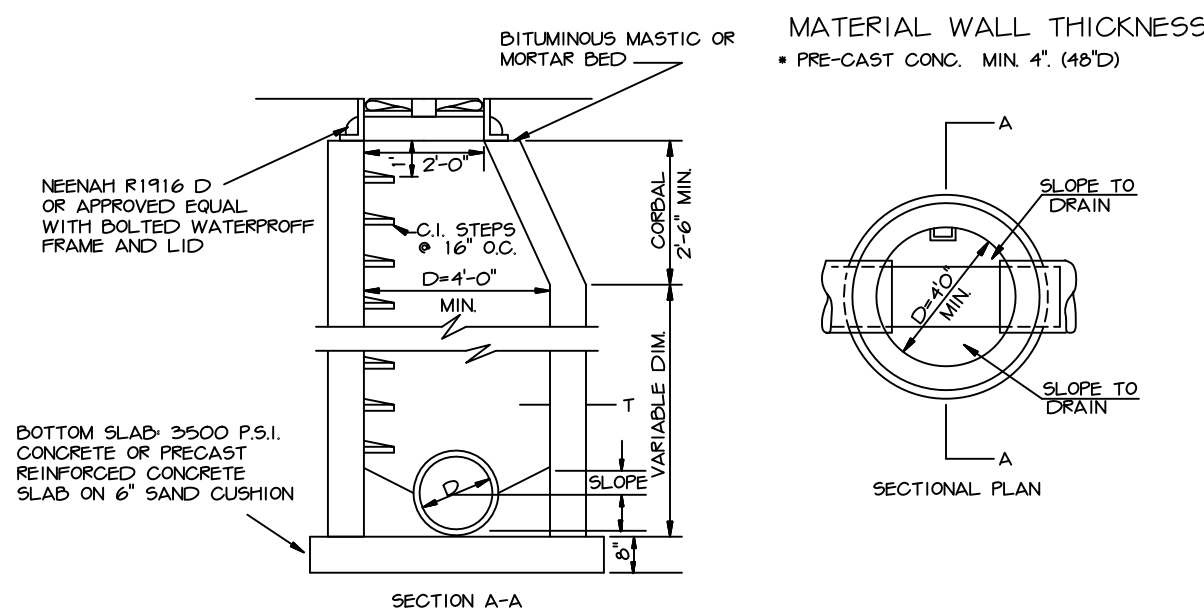
TYPICAL THRUST
BLOCK INSTALLATIONS



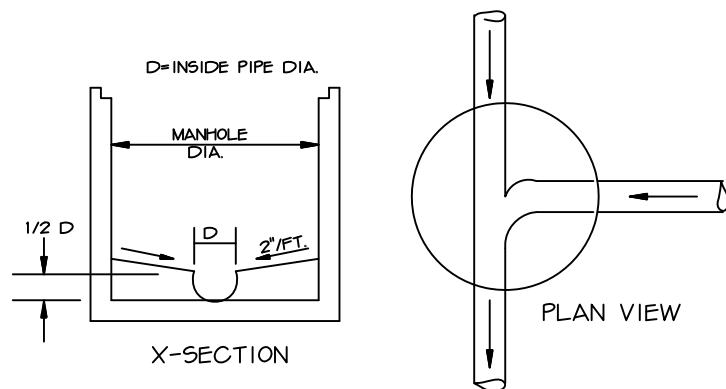
TYPICAL RISER FOR SERVICE LATERAL



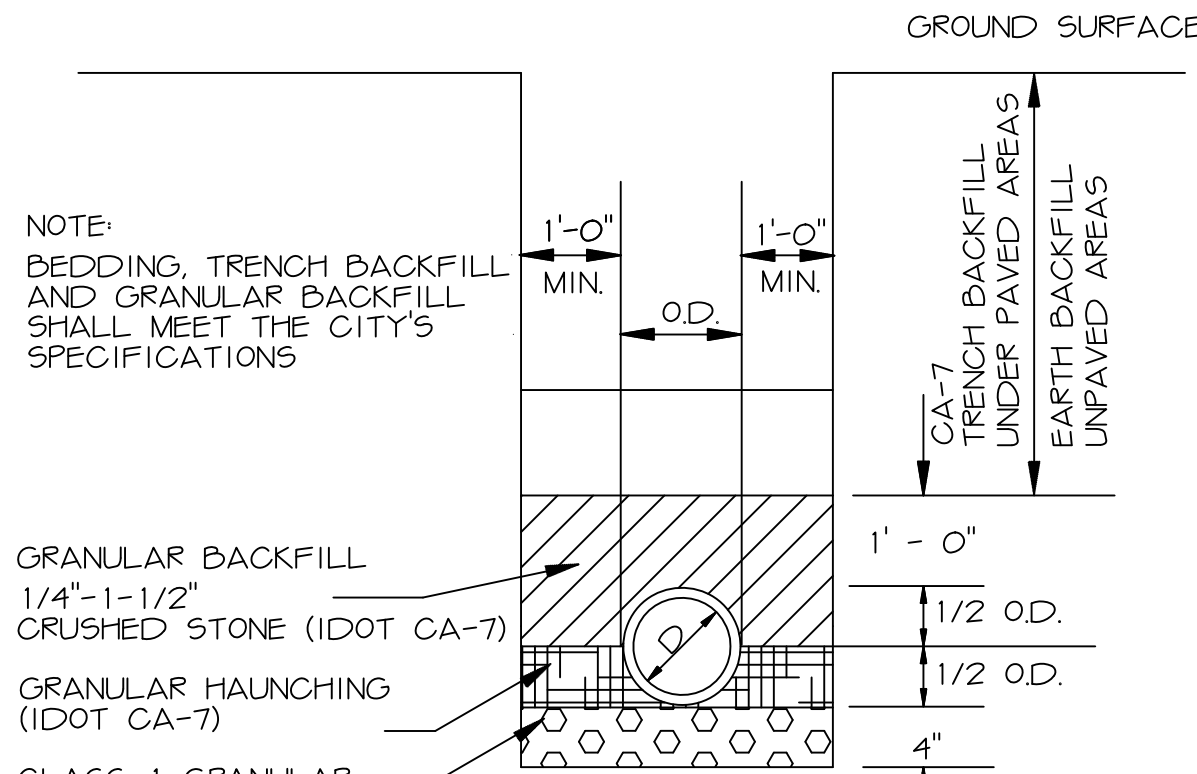
PLAN OF SEWER
AT HOUSE INLET



TYPICAL MANHOLE TYPE A



TYPICAL MANHOLE WASH



TYPICAL SEWER MAIN
INSTALLATION

CONSTRUCTION DETAILS

PARKSIDE CONDOS

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PROJECT NO. 2274
SCALE: NONE
DATE: AUG. 20, 2024
DRAWN BY:
CHECKED BY:
DATE CHECKED:
REVISIONS:
SHEET 6 OF 6